



Town of Underhill

Development Review Board

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Development Review Board

STAFF REPORT

To: DRB
From: Underhill Planning and Zoning
Date: November 14, 2017
Re: Agenda and Information for 11/19/2017

AGENDA

Sunday, November 18, 2018 – Site Visit(s)
Underhill Town Hall, 12 Pleasant Valley Road, Underhill, VT

8:30 AM Site Visit @ 4 Blakey Road, Underhill, VT (BL004)

Monday, November 19, 2018 – Public Meeting
Underhill Town Hall, 12 Pleasant Valley Road, Underhill, VT

6:30 PM Open Meeting, Public Comment Period

6:35 PM Preliminary & Final Subdivision Review: 2-Lot Subdivision
Applicant(s): Kenneth Hall
Docket #: DRB-17-18
Location: 4 Blakey Road (BL004)

7:30 PM Other Business
• Approve Previous Meeting Minutes

8:00 PM Adjourn

Hall Preliminary & Final Subdivision Review

Preliminary & Final Subdivision Review of Kenneth D. Hall's Proposal for a 2-Lot Subdivision

Docket #: DRB-17-18

Applicant(s): Kenneth D. Hall
 Consultant: N/A
 Property Location: 4 Blakey Lane (BL004)
 Acreage: ± 12.40 Acres
 Zoning District(s): Rural Residential

	<u>Rural Residential</u>	<u>Proposed Lot 1</u>	<u>Proposed Lot 2</u>
Lot Size:	3.0 Acres	± 3.23 Acres	± 9.17 Acres
Frontage:	250 Feet	~342.45 Feet	~414.25
Setbacks:			
• Front:	30 Feet	103 ft. (North)	Depicted Building Envelope Satisfies Setback Requirements
• Side 1:	50 Feet	137 ft. (West)	
• Side 2:	50 Feet	157 ft. (East)	
• Rear:	50 Feet	173 ft. (South)	
Max. Building Coverage:	25%	Most Likely Met	TBD
Max. Lot Coverage:	50%	Most Likely Met	TBD
Maximum Height:	35 Feet	Most Likely Met	TBD

2018 UNDERHILL UNIFIED LAND USE & DEVELOPMENT REGULATIONS RELEVANT REGULATIONS:

- Article II, Table 2.3 – Rural Residential District (pg. 15)
- Article III, Section 3.2 – Access (pg. 30)
- Article III, Section 3.7 – Lot, Yard & Setback Requirements (pg. 36)
- Article III, Section 3.13 – Parking, Loading & Service Areas (pg. 42)
- Article III, Section 3.17 – Source Protection Areas (pg. 53)
- Article III, Section 3.18 – Steep Slopes (pg. 55)
- Article III, Section 3.19 – Surface Waters & Wetlands (pg. 62)
- Article III, Section 3.22 – Water Supply & Wastewater Systems (pg. 66)
- Article VI – Flood Hazard Area Review (pg. 125)
- Article VII, Section 7.2 – Applicability (pg. 137)
- Article VII, Section 7.3 – Sketch Plan Review (pg. 139)
- Article VII, Section 7.5 – Preliminary Subdivision Review (pg. 142)
- Article VII, Section 7.6 – Final Subdivision Review (pg. 144)
- Article VIII – Subdivision Standards (pg. 148)

CONTENTS:

The exhibits from the Sketch Plan Review Meeting are incorporated herein and referenced

accordingly. Please note that some of the Sketch Plan Review exhibits have been amended, which are noted accordingly. Sketch Plan Review exhibits can be found by going www.underhillvt.gov, then clicking “Boards, Commissions, Committees and Task Forces” on the left. Afterward, click “Development Review Board,” followed by “Hearing Packets” on the right. Then select “2017 Hearing Packets,” then “December 17, 2018,” and finally, “DRB-17-18: Hall Sketch Plan Review (BL004 – 4 Blakey Road).”

Note that exhibits submitted as part of this Preliminary Subdivision Review Application will be labeled as either “Exhibit,” while exhibits submitted as part of the Sketch Plan Review Application will be labeled “Sketch Plan Exhibit.”

- a. Exhibit A - Hall Preliminary & Final Subdivision Review Staff Report
- b. Exhibit B – BL004 Hall Preliminary & Final Subdivision Hearing Procedures
- c. Exhibit C - Application for Preliminary Subdivision Review
- d. Exhibit D - Application for Final Subdivision Review
- e. Exhibit E - Preliminary Subdivision Checklist
- f. Exhibit F - Final Subdivision Checklist
- g. Exhibit G - Preliminary Subdivision Findings Checklist
- h. Exhibit H - Project Narrative
- i. Exhibit I - Burlington Free Press Notice
- j. Exhibit J - Certificate of Service
- k. Exhibit K - Correspondence from Kim Spaulding
- l. Exhibit L - Preliminary Access Permit # A-18-22
- m. Exhibit M - ANR Project Review Sheet
- n. Exhibit N - WW Permit # WW-4-5108
- o. Exhibit O - Site Plan
- p. Exhibit P - Sewage Disposal Plan & Details
- q. Exhibit Q - Driveway Profile & Water Supply Details
- r. Exhibit R – Survey

COMMENTS/QUESTIONS

1. **SECTION 3.18 – STEEP SLOPES/SECTION 3.19 – SURFACE WATERS & WETLANDS:** To note, as currently configured, only the proposed Lot 2 will be able to be subsequently subdivided. The steep slopes and Roaring Brook will complicate the design of any proposed driveway accessing the rear part of Lot 2, which would be the location of the hypothetical lot(s).
2. **SECTION 7.2 – APPLICABILITY:** The Board will need to vote at the beginning of the hearing on whether they wish to combine the two applications, or whether to proceed as originally intended – two separate hearings: one preliminary subdivision review hearing and one final subdivision review hearing
3. **SECTION 7.3 – SKETCH PLAN REVIEW:** the applicant has submitted a site plan depicting Roaring Brook; however, has not depicted the associated Special Flood Hazard Area encompassing Roaring Brook. No wetlands were depicted, presumably because none were found.
4. **SECTION 8.8 – LEGAL REQUIREMENTS:** Typically, draft deeds are submitted as part of the subdivision review process. At this time, the applicant has not submitted draft deeds; however, given the simplicity of the application, draft deeds are likely unnecessary unless the Board determines that there is an aspect needed to review.

REVIEW OF RELEVANT SECTIONS

ARTICLE II – ZONING DISTRICTS

ARTICLE II, TABLE 2.3 – RURAL RESIDENTIAL (PG. 15)

The purpose of this district is to accommodate medium density development on land that has access to public roads where traditional development has taken place, where soil cover is thicker than on the hillside. This district allows for the continuation of existing commercial, residential, and public uses and to encourage future development, particularly along Route 15, Poker Hill Road and Irish Settlement Road that is compatible with these historic uses.

Staff finds that the applicant's proposal meets the purpose statement of the rural residential district. The currently proposed building will satisfy the dimensional requirements of the proposed subdivision meet the district's minimum acreage and frontage requirements. In addition, since the applicant is proposing to contain the building envelop to the front area of the lot (near Poker Hill Road), any structure constructed will not encroach upon Roaring Brook's setback. Additionally, the Special Flood Hazard Area will not be impacted for the same reason as Roaring Brook's setback area. Until a building permit application is submitted, Staff will be unable to confirm that the maximum building and lot coverage requirements will be satisfied; however, Staff does not believe the applicant will exceed those thresholds.

ARTICLE III – GENERAL REGULATIONS

SECTION 3.2 – ACCESS (PG. 30)

The applicant has obtained a preliminary access permit (Access Permit #: A-18-22) from the Underhill Selectboard on Tuesday, November 6, 2018 (see Exhibit L). The Selectboard approved the preliminary access permit with the standard conditions, in addition to the adding the conditions of installing a 15 ft. by 37.5 ft turnaround on Lot 2, as well as ensuring that all turning radii satisfy the 35-ft. requirement.

For review purposes, the proposed Lot 2 will be accessed off of Poker Hill Road. Staff finds that the applicant has proposed a driveway that satisfies the requirements of this section, as the driveway will be located more than 12 feet from the side and rear lot lines, as well as not impacting steep slopes, primary agricultural soils, surface waters, wetlands and associated buffer areas, and not containing any stream crossings.

SECTION 3.7 – LOT, YARD & SETBACK REQUIREMENTS (PG. 36)

That applicant is proposing to retain the proposed Lot 1 as a single-family dwelling, and constructing a single-family dwelling on the proposed Lot 2, thereby conforming to the requirement of having one principal use/structure on a single lot (see Exhibit O). The proposed lots satisfy the dimensional standards for the underlying zoning district – the Rural Residential District. The applicant has not proposed any waivers related to lot, yard or setback requirements.

SECTION 3.13 – PARKING, LOADING & SERVICE AREAS (PG. 42)

Staff makes no findings regarding parking, loading and service areas, as satisfaction with this requirement is more likely to be ascertained during the building permitting process once design plans are more definitive. However, as proposed, Staff finds that the applicant has the area needed to satisfy to the parking requirement of two parking spaces per dwelling unit (single-family dwelling) and one parking space per dwelling unit (accessory dwelling).

SECTION 3.17 – SOURCE PROTECTION AREAS (PG. 53)

Staff finds that the property to be subdivided is not within any source protection areas.

SECTION 3.18 – STEEP SLOPES (PG. 55)

Staff finds that there are areas of steep slopes (15-25%) and areas of very steep slopes (>25%) that exist on the existing lot (see Sketch Plan Exhibit K). The areas of steep slopes and very steep slopes will be located on the proposed Lot 2, in the vicinity of Roaring Brook; however, the proposed building envelope is located towards the front of the lot (towards Poker Hill Road), out of the areas of steep slopes and very steep slopes.

To note, as currently configured, only the proposed Lot 2 will be able to be subsequently subdivided. The steep slopes and Roaring Brook will complicate the design of any proposed driveway accessing the rear part of Lot 2, which would be the location of the hypothetical lot(s).

SECTION 3.19 – SURFACE WATERS & WETLANDS (PG. 62)

Staff finds that Roaring Brook traverses the parent lot (see Sketch Plan Exhibit L). The applicant has proposed a building envelope that is not in the vicinity of Roaring Brook or its setback – since a floodplain encompasses Roaring Brook, a setback requirement of 100 ft. from the “top of bank” is required. While the applicant has illustrated a 50 ft. buffer from Roaring Brook, the applicant’s building envelope is approximately 340 ft. from Roaring Brook, thus exceeding the 100 ft. setbacks requirements (see Exhibit O).

As noted above, as currently configured, only the proposed Lot 2 will be able to be subsequently subdivided. The steep slopes and Roaring Brook will complicate the design of any proposed driveway accessing the rear part of Lot 2, which would be the location of the hypothetical lot(s).

Staff notes that there were no wetlands identified on the property according the ANR Atlas Website.

SECTION 3.22 – WATER SUPPLY & WASTEWATER SYSTEMS (PG. 66)

Staff finds that applicant has obtained a Wastewater System & Potable Water Supply Permit (Permit #: WW-4-5108) (see Exhibit N) from the Agency of Natural Resources, Department of Environmental Conservation, on October 4, 2018. The permit allows for a three-bedroom, single-family residence on Lot 1, and a proposed three-bedroom, single-family residence on Lot 2. Lot 2 has been approved for a drilled or percussion bedrock well as well, as a mound wastewater system.

ARTICLE VI – FLOOD HAZARD AREA REVIEW

ARTICLE VI – FLOOD HAZARD AREA REVIEW (PGS. 125-136)

Staff finds that there are floodplains on the existing lot, and that they are be entirely located on the proposed Lot 2. The applicant is proposing a building envelope that will not encroach upon the Special Flood Hazard Area, and therefore, review under this Article of the regulations is not required at this time.

ARTICLE VII – SUBDIVISION REVIEW

SECTION 7.2 – APPLICABILITY (PG. 137)

The Board classified the proposed subdivision as a minor subdivision in the sketch plan review letter that was issued on January 4, 2017. At the time, the applicant agreed to having separate preliminary and final subdivision review hearings. The Board will need to vote at the beginning of

the hearing on whether they wish to combine the two applications, or whether to proceed as originally intended – two separate hearings: one preliminary subdivision review hearing and one final subdivision review hearing.

SECTION 7.3 – SKETCH PLAN REVIEW (PG. 139)

The Board accepted the proposed subdivision plan on January 4, 2018. As part of the acceptance letter, the Board required the following items to be addressed:

1. A letter from the Jericho-Underhill Water District addressing whether they have the ability to serve the proposed lot.
2. All surface waters, including streams and brooks, wetland and floodplains shall be identified and delineated on the submitted site plan.
3. The draft survey plat shall depict all easement and/or rights-of-way that are located on the existing parcel of land to be subdivided.
4. The applicant should prepare and submit a draft Shared Road Maintenance Agreement if access between the two lots will be shared.
5. The applicant shall obtain the necessary documentation/wastewater system & potable water supply permits from the State of Vermont, Department of Environmental Conservation. The applicant shall identify the well shield and isolation distances on the submitted site plan and how those distances will impact the adjacent property owners (with notice being provided).
6. A Preliminary Subdivision Findings Checklist shall be submitted in accordance with the criteria listed in § 7.5 of the Underhill Unified Land Use & Development Regulations.
7. The draft survey plat shall be prepared by a licensed surveyor.
8. The applicant shall submit engineering drawings in conformance with the application requirements in the Underhill Unified Land Use & Development Regulations, specifically:
 - a. Areas of steep slopes, flood hazards, stream water setbacks, septic setbacks and well shields, isolation distances; and
 - b. The requisite size culverts shall also be illustrated on the plans.
9. The scheduling of a site visit prior to the preliminary subdivision review hearing.
10. Note: A preliminary access permit shall be obtained from the Selectboard prior to final subdivision review. The Selectboard encourages applicants to submit information showing that the access way will not exceed a slope of 10% (typically shown by submitting a road profile); a 15-foot by 37.5-foot turnaround to accommodate emergency vehicles, which also includes a 35-foot radius, as well as satisfying any other conditions of the Road Ordinance.

In response to condition 1, Staff sought comment from the Underhill-Jericho Fire Department during the preliminary access permit review application; however, no comment was submitted. Staff finds that the Underhill-Jericho Fire Department will have another opportunity to provide comment prior to the applicant obtaining the final access permit.

In response to condition 2, the applicant has submitted a site plan depicting Roaring Brook; however, has not depicted the associated Special Flood Hazard Area encompassing Roaring Brook. No wetlands were depicted, presumably because none were found (see Exhibit O).

In response to condition 3, a survey plat has been submitted – completed by Joseph Flynn. No easements have been depicted (see Exhibit R).

In response to condition 4, a draft shared road maintenance agreement has not been submitted because the applicant is not proposing to have a shared access way.

In response to condition 5, the applicant has submitted a Wastewater System & Potable Water Supply Permit (Permit #: WW-4-5108) issued by the State of Vermont, Department of Environmental Conservation (see Exhibit N).

In response to condition 6, the applicant has submitted the findings checklists associated with preliminary and final subdivision review (see Exhibit G).

In response to condition 7, a survey plat has been submitted – completed by Joseph Flynn (see Exhibit R).

In response to condition 8, the applicant has submitted a site plan depicting the requested features except for the Special Flood Hazard Areas (see Exhibit O).

In response to condition 9, a site visit has been scheduled for 8:30 AM on Sunday, November 18, 2018.

In response to condition 10, a preliminary access permit has been obtained from the Selectboard (Access Permit #: A-18-22) (see Exhibit L). Staff notes that the applicant did not depict a driveway layout containing a 15 ft. by 37.5 ft turnaround around. As a result, the Selectboard, as a condition of approval, required this feature, as well as ensuring that all curvatures satisfy the 35 ft. radius.

SECTION 7.5 – PRELIMINARY SUBDIVISION REVIEW (PG. 142)

The purpose of preliminary subdivision review is to review a draft subdivision plat and supporting documentation to determine preliminary conformance with the municipal plan, these regulations and other municipal ordinances in effect at the time of application; to identify particular issues or concerns associated with a proposed subdivision; to recommend modifications necessary to achieve conformance; and to identify any additional information required for submission for final subdivision review prior to the preparation of a final survey plat, engineering plans and legal documents for the subdivision and related site improvements.

Staff finds that the Board will need to vote on whether preliminary subdivision review will be waived at the beginning of the hearing. During the sketch plan review meeting, the Board voted to hold separate preliminary & final subdivision review hearings. The applicant has submitted the findings checklist, which is required regardless of the Boards decision.

SECTION 7.6 – FINAL SUBDIVISION REVIEW (PG. 144)

Final Subdivision Review and approval is required prior to recording a subdivision plat in the land records of the town Under Section 7.7. The purpose of final subdivision review is to determine final project conformance with the municipal plan, these regulations, and other municipal ordinances in effect at the time of application. The application for final subdivision review shall be submitted within one year of the date of preliminary approval by the DRB, but not before the initial 30-day appeal period has expired. If an application has not been filed within one year, the applicant will be required to submit a new application for preliminary review under Section 7.5.

Staff finds that if additional information is required to satisfy the requirements of final subdivision review, the Board has the ability to continue the hearing to allow for the submission of the additional information.

ARTICLE VIII – SUBDIVISION STANDARDS

SECTION 8.1 – APPLICABILITY (PG. 148)

Staff finds that no technical review is needed at this time. The applicant has not requested any waivers relating to the subdivision regulations at this time.

SECTION 8.2 – GENERAL STANDARDS (PG. 149)

Section 8.2.A – Development Suitability (pg. 149): Staff notes that the applicant has performed some clearing of existing vegetation prior to the submission of the sketch plan review application, as noted during the sketch plan review meeting. Otherwise, Staff does not foresee any undue adverse impacts to the public health and safety or the character of the area in which the proposed development is located. The applicant has not expressed any intention of setting aside land as open space that would exclude periodic flooding, poor drainage, very steep slopes (>25%), or other known hazards, or that is otherwise not suitable to support structures or infrastructure.

Section 8.2.B – Development Density (pg. 149): The proposed subdivision meets the density requirements per this section.

Section 8.2.C – Existing Conditions (pg. 149): Staff finds that the existing lot has areas of prime agricultural soils (see Sketch Plan Exhibit O). The majority of the building envelope avoids areas of prime agricultural soils; however, there is an area of the building envelope located within an area designated as statewide prime agricultural soils, therefore, there is a likelihood that construction of a building could occur on these lands.

Otherwise, the proposed layout of the subdivision and development will not adversely affect any of the existing site features and/or natural amenities listed under this subsection. Additionally, the layout appears to integrate and conserve other existing site features and natural amenities listed in this subsection.

Section 8.2.D – Underhill Town Plan & Development Regulations (pg. 150): Staff finds that the proposed subdivision/development appears to conform to the *Underhill Town Plan & the Underhill Unified Land Use & Development Regulations*.

Section 8.2.E – District Settlement Patterns (pg. 150): Staff finds that the proposed subdivision/development appears to be consistent with characteristics of the rural zoning districts as described in Section 8.2.E.2.

Section 8.2.F – Lot Layout (pg. 151): Staff finds that the newly created lots conform to the requirements of this subsection (see Exhibit O). Staff notes however that the proposed Lot 2 would be the only lot that could be subsequently subdivided, and due to the configuration of the lot, the location of Roaring Brook, and the location of steep slopes & very steep slopes, the feasibility of accessing the subsequent hypothetical lot would be less feasible from Poker Hill Road, and would likely need to be accessed from Blakey Road. However, the creation of a subsequent lot on the rear portion of Lot 2 would inevitably have associated issues regardless of how the/a subdivision is configured.

Section 8.2.G – Building Envelopes (pg. 151): The applicant has illustrated a building envelope on the newly proposed Lot 2 that avoids a lot of the site's constraints, such as the special flood hazard

area, steep slopes, and the setback requirements from Roaring Brook (see Exhibit O). For those reasons, Staff recommends that the building envelope be approved as proposed. Staff also notes that the proposed Lot 1 does not contain a proposed building envelope, and therefore, the implicit building envelope would be the least restrictive envelope as determined by the setback requirements at the time of future development.

Section 8.2.H – Survey Monuments (pg. 151): Staff makes no finding regarding this subsection.

Section 8.2.I – Landscaping & Screening (pg. 151): Staff notes that the applicant has already cleared some of the area on the proposed Lot 2, as explained during the sketch plan review meeting on December 18, 2017. Currently, the lot contains a tree-line along Poker Hill Road, though not densely vegetated. Nevertheless, this landscaping and screening seem to be consistent with other residential development in the area.

Section 8.2.J – Energy Conservation (pg. 152): Staff makes no finding regarding this subsection.

SECTION 8.3 – NATURAL & CULTURAL RESOURCES (PG. 152)

Section 8.3.A – Resource Identification & Protection (pg. 152): Staff is unaware of any significant cultural and natural features necessitating protection.

Section 8.3.B – Surface Waters, Wetlands & Floodplains (pg. 153): Staff finds that the proposed subdivision/development contains Roaring Brook and a Special Flood Hazard Area (see Exhibit O and Sketch Plan Exhibits L & M). The proposed lot lines and building envelope have been configured to avoid these areas, as explained above.

Section 8.3.C – Rock Outcrops, Steep Slopes, Hillsides & Ridgelines (pg. 153): The existing lot contains areas of steep slope and very steep slopes (see Exhibit O and Sketch Plan Exhibit K). The proposed lot lines and building envelope have been configured to avoid these areas.

Section 8.3.D – Natural Areas & Wildlife Habitat (pg. 154): No wintering deer yards have been identified on the existing lot; however there is a priority level 6/7 habitat block located on the lot (see Sketch Plan Exhibit N). When utilizing the 2016 Vermont Agency of Natural Resources BioFinder, the following areas were identified to be located towards the rear portion of the proposed Lot 2 and/or encompassing Roaring Brook:

- Riparian Wildlife Connectivity
- Highest Priority Surface Water and Riparian Areas
- Highest Priority Interior Forest Blocks
- Highest Priority Connectivity Blocks
- Physical Landscapes

Though these areas may be located on the proposed Lot 2, based on the configuration of the building envelope, there appears to be a minimal adverse impact on these areas, especially as development is located closer towards Poker Hill Road.

Section 8.3.E – Historic & Cultural Resources (pg. 155): Staff is unaware of any historic and cultural resources located on the existing lot, and therefore, makes no finding in regards to this subsection.

Section 8.3.F – Farmland (pg. 155): Staff notes that areas of the lot contain statewide prime agricultural soils (see Sketch Plan Exhibit O). See Section 8.2.C above for more information.

Section 8.3.G – Forestland (pg. 156): Staff finds, according to aerial photography, that the lot is largely forested. The applicant has communicated that he has already cleared some of this vegetation, which is evidenced in Sketch Plan Exhibit P. If future development were to be placed in the already cleared area, which appears to be the case, there would be negligible impact to the forestland.

SECTION 8.4 – OPEN SPACE & COMMON LAND (PG. 157)

Section 8.4.A – Open Space (pg. 158): The applicant has not communicated that he intends to designate any land as open space, and therefore, Staff makes no finding at this time.

Section 8.4.B – Common Land (pg. 153): The applicant has not communicated that he intends to designate any land as common land, and therefore, Staff makes no finding at this time.

Section 8.4.C – Legal Requirements (pg. 158): Staff makes no finding regarding this subsection.

Section 8.5 – Stormwater Management & Erosion Control (pg. 158)

Staff recommends that the Board require as a condition of approval that the applicant adhere to the requirements of this Section, as well as conform to the guidelines set out in the Vermont DEC Low Risk Site Handbook for Erosion Prevention and Sediment Control.

Section 8.6 – Transportation Facilities (pg. 160)

Section 8.6.A – Access & Driveways (pg. 160)

The applicant is proposing to have Lot 2 serviced by its own driveway accessed off of Poker Hill Road (see Exhibit O). Since the driveway will only be serving one lot, only the standards of Sections 3.2 & 8.6.A apply.

Section 8.6.B – Development Roads (pg. 161): Since the proposed access way is only going to serve one lot, no review under this subsection is required.

Section 8.6.C – Parking Facilities (pg. 162): Staff finds that this subsection does not apply.

Section 8.6.D – Transit Facilities (pg. 163): Staff finds that this subsection does not apply.

Section 8.6.E – Pedestrian Access (pg. 163): Staff makes no finding regarding this subsection.

SECTION 8.7 – PUBLIC FACILITIES & UTILITIES (PG. 162)

Section 8.7.A – Public Facilities (pg. 162): Staff does not anticipate that the proposed subdivision and development will create an undue burden on the existing and/or planned public facilities. Staff has inquired with the Mount Mansfield Union School District, and will presumably have confirmation prior to the hearing.

Section 8.7.B – Fire Protection (pg. 163): Staff does not anticipate that the proposed subdivision and development will unduly affect the Underhill-Jericho Fire Department’s ability to serve. As stated above, Staff has inquired with the Underhill-Jericho Fire Department; however, has yet to receive

any feedback. Staff has the ability to make another inquiry during the final access permit review process with the Selectboard.

Section 8.7.C – Water Systems (pg. 163): See Section 3.22 above. Also see Exhibit N.

Section 8.7.D – Wastewater Systems (pg. 163): See Section 3.22 above. Also see Exhibit N.

Section 8.7.E – Utilities (pg. 164): Staff makes no finding regarding this subsection.

SECTION 8.8 – LEGAL REQUIREMENTS (PG. 165)

Typically, draft deeds are submitted as part of the subdivision review process. At this time, the applicant has not submitted draft deeds; however, given the simplicity of the application, draft deeds are likely unnecessary unless the Board determines that there is an aspect needed to review.

UNDERHILL DEVELOPMENT REVIEW BOARD
HEARING PROCEDURES
PRELIMINARY & FINAL SUBDIVISION REVIEW
Kenneth D. Hall
November 19, 2018

State the following:

- 1) Based on what the Board chooses (Preliminary & Final Subdivision Review or only Preliminary Subdivision Review), choose either A or B

A. Combined Preliminary & Final Subdivision Review Hearing

“This is a combined preliminary & final subdivision review hearing on the application of Kenneth D. Hall for a proposed 2-lot subdivision on the land he owns at 4 Blakey Road (BL004) in Underhill, Vermont.

While preliminary subdivision review has been waived, the Board still reviews the draft subdivision plat and supporting documentation to determine that the proposed subdivision conforms with the municipal plan, these regulations and other municipal ordinances in effect at the time of application; to identify particular issues or concerns associated with a proposed subdivision; to recommend modifications necessary to achieve conformance; and to identify any additional information prior to the final subdivision plans, engineering plans and legal documents for the subdivision and related site improvements are finalized.

This subdivision is subject to review under the *Unified Land Use and Development Regulations*, as amended November 6, 2018, and the 2015 Road, Driveway and Trail Ordinance, and was classified as a **minor subdivision** after the sketch plan review meeting on December 18, 2018.

B. Preliminary Subdivision Review Hearing

This is a preliminary subdivision review hearing on the application of Kenneth D. Hall for a proposed 2-lot subdivision on the land he owns at 4 Blakey Road (BL004) in Underhill, VT.

The purpose of preliminary subdivision review is to review a draft subdivision plat and supporting documentation to determine preliminary conformance with the municipal plan, these regulations and other municipal ordinances in effect at the time of application; to identify particular issues or concerns associated with a proposed subdivision; to recommend modifications necessary to achieve conformance; and to identify any additional information required for submission for final subdivision review prior to the preparation of a final survey plat, engineering plans and legal documents for the subdivision and related site improvements.

This subdivision is subject to review under the *Unified Land Use and Development Regulations*, as amended November 6, 2018, and the 2015 Road, Driveway and Trail Ordinance, and was classified as a **minor subdivision** after the sketch plan review meeting on December 18, 2018.

- 2) Copies of the Rules of Procedure that the Board follows are available for review from the Planning & Zoning Administrator.
- 3) The order of speakers tonight will be:
 - a. We will hear from and ask questions of applicant(s) and his consultant(s);
 - b. Then we will hear and ask questions of the Planning & Zoning Administrator;
 - c. Then we will give other persons in the room a chance to speak. Under our Rules of Procedure each speaker is limited to five minutes; however, that time can be extended upon request to the Board and majority consent of the Board; then
 - d. The applicant(s) and/or their consultant(s) will have an opportunity to respond; then;
 - e. Final comments will be solicited from all parties.
 - f. All speakers should address their comments to the Board, not to other parties present at the hearing.
 - g. Board Members may feel free to ask questions of any speaker.
- 4) Are any state or municipal representatives present, and acting in their representative capacities?
- 5) An Interested Parties Info Sheet has been provided to all attendees. Please review it for further information.

Then state:

"Only those interested persons who have participated, either orally or through written statements in a DRB proceeding may appeal a decision rendered in that proceeding to the Environmental Division of Superior Court.

- 6) If you are an applicant, or an interested party who wants to participate in the hearing, we will have you come up to the witness chair and clearly state your name, residential address, and mailing address if it differs.
- 7) I am now going to swear in all those present who wish to speak tonight. All individuals who plan to testify must take the following oath by responding "**I do**" at the end: ***"Do you hereby swear that the evidence you give in the cause under consideration shall be the whole truth and nothing but the truth under pains and penalties of perjury?"***

- 8) Are there any conflicts of interest or have there been any ex parte communications on the part of the Board Members?
- 9) At this point I am going to enter into the record the information package that was sent by the Planning & Zoning Administrator prior to the hearing. The information included in this package relevant to this hearing is:

Exhibit A - Hall Preliminary & Final Subdivision Review Staff Report
Exhibit B - BL004 Hall Preliminary & Final Subdivision Hearing Procedures
Exhibit C - Application for Preliminary Subdivision Review
Exhibit D - Application for Final Subdivision Review
Exhibit E - Preliminary Subdivision Checklist
Exhibit F - Final Subdivision Checklist
Exhibit G - Preliminary Subdivision Findings Checklist
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Exhibit O - Site Plan
Exhibit P - Sewage Disposal Plan & Details
Exhibit Q - Driveway Profile & Water Supply Details
Exhibit R - Survey

- 10) We'll begin testimony, and hear from the applicant(s) and/or their consultant(s).
- 11) Next we will hear from the Planning & Zoning Administrator.
- 12) Are there members of the public who would like to speak?
- 13) Any final comments from anyone?
- 14) Does the Board feel that they have enough information at this time to make a decision on the application?
- a. *If more information is needed to make a decision on the application, continue the hearing to a date and time certain, and outline for the Applicant(s) what is required at that continued hearing; or*
- b. *If, by consensus, enough information has been presented to make a decision on the application, announce that the evidentiary portion of the hearing is closed.*
- 15) Does the Board wish to discuss the application in open or deliberative session? (After the ruling, continue with the info below.)

“Within 45 days from this hearing, the Planning & Zoning Administrator, on behalf of the DRB, will send a copy of the decision to the Applicant, their consultant, and those who have participated in tonight’s hearing. A 30-day appeal period will begin on the date the decision is signed. The letter will outline the next steps in the process. If there are no other comments or questions we will close this portion of the meeting.

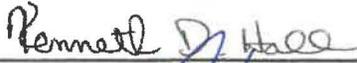
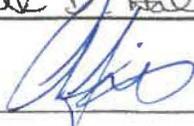
TOWN OF UNDERHILL
P.O. Box 32
Underhill Center, VT 05490
Phone: (802) 899-4434 x106 Fax: (802) 899-2137
Email: underhillzoning@comcast.net

APPLICATION FOR SUBDIVISION: PRELIMINARY

ZONING DISTRICT(S): _____ PROPERTY CODE: BL004

FEES: \$100 per lot hearing fee + costs

UFVC
 Rural Residential
 Water Conservation
 Scenic Preservation
 Soil & Water Conservation

RECORD OWNER OF PROPERTY: Kenneth Hall	MAILING ADDRESS: 4 Blakey Road, Underhill, VT 05489
PHONE: 802-343-9743	E-MAIL: vtkenhall@gmail.com
ACREAGE IN ORIGINAL PARCEL: 12.57	PROPOSED NUMBER OF LOTS: 2
DESCRIPTION OF PROJECT: This project involves subdividing the existing 12.57 acre lot at 4 Blakey Road into 2 Lots. Lot #1 is to be 3.23 acres and will contain the existing 3-bedroom house which will continue to be served by the existing on-site sewage disposal and individual drilled well. Lot #2 is to be 9.17 acres and will contain a new 3-bedroom house and detached 1-bedroom accessory apartment which will be served by new on-site sewage disposal and individual drilled well.	
DEVELOPER: Kenneth Hall	CONTACT INFORMATION: Same as above
DESIGNER / ENGINEER: O'Leary-Burke Civil Associates, PLC	ADDRESS: 13 Corporate Drive
PHONE: 802-878-9990	E-MAIL: gtidman@olearyburke.com
SURVEYOR: Joe Flynn	ADDRESS: 13 Corporate Drive
PHONE: 802-878-9990	EMAIL: jrflynn@olearyburke.com
APPLICANT SIGNATURE	
	DATE 10-17-18
RECEIVED	
	DATE 10/19/2018

Please submit a complete application with the attached checklist and preliminary plans to the Zoning Administrator. A Preliminary Hearing before the Development Review Board will be scheduled upon receipt of a complete application. For questions, please contact the Zoning Administrator at 899-4434, x106 or underhillzoning@comcast.net.

TOWN OF UNDERHILL

P.O. Box 32
Underhill Center, VT 05490

Phone: (802) 899-4434 x106

Fax: (802) 899-2137

Email: underhillzoning@comcast.net

APPLICATION FOR SUBDIVISION: FINAL

ZONING DISTRICT(S):

PROPERTY CODE: BL004

FEES: \$300 hearing fee + \$100 per
lot + costs + recording fees

 UFVC Rural Residential Water Conservation Scenic Preservation Soil & Water Conservation

RECORD OWNER OF PROPERTY: Kenneth Hall	MAILING ADDRESS: 4 Blakey Road, Underhill, VT 05489
PHONE: 802-343-9743	E-MAIL: vtkenhall@gmail.com
ACREAGE IN ORIGINAL PARCEL: 12.57	PROPOSED NUMBER OF LOTS: 2
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DEVELOPER: Kenneth Hall	CONTACT INFORMATION: Same as above
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SURVEYOR: Joe Flynn	ADDRESS: 13 Corporate Drive
PHONE: 802-878-9990	EMAIL: jrflynn@olearyburke.com
APPLICANT SIGNATURE <i>Kenneth D. Hall</i>	DATE 8-30-18
RECEIVED <i>[Signature]</i>	DATE 10/19/2018

Please submit a complete application with the attached checklist and final plans to the Zoning Administrator. A Final Hearing before the Development Review Board will be scheduled upon receipt of a complete application. For questions, please contact the Zoning Administrator at 899-4434, x106 or underhillzoning@comcast.net.

TOWN OF UNDERHILL, VERMONT

Subdivision Checklist: Preliminary Hearing

Docket #: DRB-17-18 Property ID: BL004 Meeting Date: 11/19/2018Applicant/Consultant: Ken Hall / O'Leary-Burke Civil Associates, PLC# of Lots: 2 Zoning District(s): Rural ResidentialIs this a Planned Residential Development? Yes NoIs this a Planned Unit Development? Yes NoIs this part of a previously-approved subdivision? Yes No

Submission Requirements

The following are required prior to scheduling a hearing and/or site visit.

<u>Required</u>	<u>Submitted</u>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	One large and twelve 11" x 17" copies of the draft subdivision plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineering drawings (see attached checklist).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	State of Vermont Project Review Sheet.
<input type="checkbox"/>	<input type="checkbox"/>	Draft legal documents (deeds, easements, Homeowners Associations, maintenance agreements, etc.).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fees.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Written disclosure of the intended use of land to be subdivided, and general plans for the subsequent development of any land to be retained by the owner/applicant (required when only a portion of an existing parcel is to be subdivided).
<input type="checkbox"/>	<input type="checkbox"/>	Master Plan. See Section 8.1(B)(1)(a) for specific requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Findings of Fact (see attached checklist).
<input type="checkbox"/>	<input type="checkbox"/>	Written requests for modifications or waivers, including justifications for such requests.

TOWN OF UNDERHILL, VERMONT

Subdivision Checklist: Preliminary Hearing



<u>Required</u>	<u>Submitted</u>	<u>SURVEY</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name and address of the record owner and designer of preliminary plat. Survey must be done by a licensed land surveyor.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Date, north orientation used and basis, scale, and legend.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The property codes and names of owners of record of adjacent acreage, including those directly across any road adjoining proposed subdivision. Also include the names of all subdivisions immediately adjacent to the proposed subdivision.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The provisions of the zoning regulations applicable to the area to be subdivided.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing and proposed easements, rights-of-way, roads, driveways, pedestrian walkways, and utility corridors. Proposed utility easements will be centered on as-built utility lines.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Surface waters, wetlands, vernal pools, and associated buffers.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mapped floodplains.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Open space areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed lot lines with dimensions.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building envelopes for all structures, parking areas, and associated site improvements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The preliminary plat shall be accompanied by a vicinity map drawn to show the relation of the proposed subdivision to the adjacent properties and to the general surrounding area. The vicinity map shall show all of the area within two thousand (2,000) feet of any property line of the proposed subdivision.

TOWN OF UNDERHILL, VERMONT

Subdivision Checklist: Preliminary Hearing

Required	Submitted	<u>ENGINEERING DRAWINGS</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Name and address of record owner(s) and designer of preliminary engineering plans.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Date, north orientation used and basis, scale, and legend.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Abutting neighbors identified by name and property code.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The provisions of the zoning regulations applicable to the area to be subdivided.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Natural topography (surface contours, grades) and drainage patterns.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Surface waters, wetlands, vernal pools, and associated buffers.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mapped floodplains.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Natural vegetative cover (timber and orchard stands, witness and shade trees, copses, hedgerows, etc.).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Significant wildlife habitat areas and corridors, and rare, threatened, and endangered plant and animal communities and associated buffers.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas of forestland.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outcrops, ledges, visually prominent ridgelines and peaks, or other unique topographical and geographical features. (Include tree canopy height for proposed development down-slope of ridges and hilltops).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas of steep or very steep slopes.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Primary agricultural soils.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing open space areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing common land areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Historic sites and structures.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Designated Source Protection Areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing easements, rights-of-way, pedestrian walkways, curb cuts, driveways, roads (including Class IV), parking areas, and utility corridors.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location and size of existing sewerage systems and water supplies, culverts, and drains or underground cables on the property to be subdivided.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing buildings and grades.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed new lot lines (dimensions to the nearest foot, no bearings) and acreages.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed easements, rights-of-way, pedestrian walkways, curb cuts, driveways, roads and upgrades, parking areas and designs for each (include cuts, fills, grades, drainage, culverts, travel lane widths, shoulder widths, surfacing, etc.)

TOWN OF UNDERHILL, VERMONT

Subdivision Checklist: Final Hearing

Docket #: DRB-17-18 Property ID: BL004 Meeting Date: 11/19/2018
 Applicant/Consultant: Ken Hall / O'Leary-Burke Civil Associates, PLC
 # of Lots: 2 Zoning District(s): Rural Residential
 Is this a Planned Residential Development? Yes No
 Is this a Planned Unit Development? Yes No
 Is this part of a previously-approved subdivision? Yes No

Submission Requirements

The following are required prior to scheduling a hearing.

<u>Required</u>	<u>Submitted</u>	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	One large and twelve 11" x 17" copies of the final subdivision plan.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Engineering drawings (see attached checklist).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	State and/or Federal Permits/Approvals.
<input type="checkbox"/>	<input type="checkbox"/>	Draft legal documents (deeds, easements, Homeowners Associations, maintenance agreements, etc.).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Fees.
<input type="checkbox"/>	<input type="checkbox"/>	Master Plan. See Section 8.1(B)(1)(a) for specific requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Finalized Findings of Fact (see attached checklist).
<input type="checkbox"/>	<input type="checkbox"/>	Written requests for modifications or waivers, including justifications for such requests.

TOWN OF UNDERHILL, VERMONT

Subdivision Checklist: Final Hearing



<u>Required</u>	<u>Submitted</u>	<u>SURVEY</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The name and address of the record owner and designer of plat. Survey must be done by a licensed land surveyor.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Date, north orientation used and basis, scale, and legend.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	The property codes and names of owners of record of adjacent acreage, including those directly across any road adjoining proposed subdivision. Also include the names of all subdivisions immediately adjacent to the proposed subdivision.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Zoning district(s) applicable to the area to be subdivided.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing and proposed easements, rights-of-way, roads, driveways, pedestrian walkways, and utility corridors. Proposed utility easements will be centered on as-built utility lines.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Surface waters, wetlands, vernal pools, and associated buffers.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mapped floodplains.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Open space areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed lot lines with dimensions.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building envelopes for all structures, parking areas, and associated site improvements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	A vicinity map drawn to show the relation of the proposed subdivision to the adjacent properties and to the general surrounding area. Show all of the area within two thousand (2,000) feet of any property line of the proposed subdivision.

TOWN OF UNDERHILL, VERMONT

Subdivision Checklist: Final Hearing

Required	Submitted	<u>ENGINEERING DRAWINGS</u>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Name and address of record owner(s) and designer of engineering plans.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Date, north orientation used and basis, scale, and legend.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Abutting neighbors identified by name and property code.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Zoning district(s) applicable to the area to be subdivided.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Natural topography (surface contours, grades) and drainage patterns.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Outcrops, ledges, visually prominent ridgelines and peaks, or other unique topographical and geographical features. (Include tree canopy height for proposed development down-slope of ridges and hilltops).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas of steep or very steep slopes.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Surface waters, wetlands, vernal pools, and associated buffers.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mapped floodplains.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Natural vegetative cover (timber and orchard stands, witness and shade trees, copses, hedgerows, etc.).
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas of forestland.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Significant wildlife habitat areas and corridors, and rare, threatened, and endangered plant and animal communities and associated buffers.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Primary agricultural soils.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Historic sites and structures.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Designated Source Protection Areas.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Preserved open space areas, forestland, natural, cultural, and historic features.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing easements, rights-of-way, pedestrian walkways, curb cuts, driveways, roads (including Class IV), parking areas, and utility corridors.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed easements, rights-of-way, pedestrian walkways, curb cuts, driveways, roads and upgrades, parking areas and designs for each (include cuts, fills, grades, drainage, culverts, travel lane widths, shoulder widths, surfacing, etc.)
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed utility corridors.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Existing buildings and grades.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed new lot lines (dimensions to the nearest foot, no bearings) and acreages.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building envelopes for all structures, parking areas, and associated site improvements.

TOWN OF UNDERHILL, VERMONT

**Article VIII. Subdivision Standards
Findings Checklist**

Docket #: DRB-17-18 **Property ID:** BL004 **Hearing Date:** 11/19/2018
Applicant/Consultant: Ken Hall / O'Leary-Burke Civil Associates, PLC

The following standards are excerpted from Article VIII of the Unified Land Use and Development Regulations. For full standards, refer to the complete regulations document.

Applicant(s) shall submit proposed findings of fact for each of the relevant subdivision standards below as part of the application for final subdivision review. Proposed findings shall address how the proposed development relates to each portion of the standard.

RequiredSubmitted**Section 8.2 General Standards****(A) Development Suitability**

Indicate how the proposed subdivision will not result in undue adverse impacts to public health and safety, the natural environment, neighboring properties and uses, or the character of the area in which it is located.

The proposed subdivision will result in one additional single-family home in an area that is currently residential. The addition of the proposed lot and single-family home will not cause any undue adverse impacts to public health, safety, the environment or neighboring properties.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required
Submitted
Section 8.2 General Standards Cont'd

(B) Development Density

Provide the density calculations for each zoning district in the proposed project.

Zoning District:

a. Total land area in the proposed subdivision within this zoning district	540,144	ft ²	
b. Area of land within existing road rights-of-way	0	ft ²	
c. Area of land within proposed road rights-of-way	0	ft ²	
d. Add lines b & c	0	ft ²	
e. Subtract line d from line a		540,144	ft ²
f. Minimum lot size for this district	130,680	ft ²	
i. Divide line e by line h		4.13	LOTS

Required
Submitted
(C) Existing Site Conditions

Indicate how the proposed subdivision will integrate and conserve existing site features and natural amenities (topography, drainage patterns, surface waters, wetlands, vernal pools, floodplains, vegetative cover, outcrops, ledges, ridgelines, peaks, primary agricultural soils, historic sites and structures, etc.).

The proposed subdivision and the construction of associated infrastructure shall be carried out with minimal clearing and alteration of the existing topography. Existing culverts will be left in place and additional culverts will be placed as necessary in order to maintain natural drainageways.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.2 General Standards Cont'd



(D) Underhill Town Plan & Regulations

How will the proposed subdivision conform to the stated policies and objectives in the Underhill Town Plan as most recently amended, other provisions of these regulations, adopted capital or transportation improvement programs, and other municipal bylaws, ordinances and regulations?

The intended land use of the Rural Residential District is "medium density residential development." Permitted residential development for this zoning district is defined as a primary dwelling and an accessory apartment which is what this project proposes.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.2 General Standards Cont'd



(E) District Settlement Patterns

Identify the district(s) in which the proposed subdivision will occur.



Underhill Flats Village Center



Rural Residential



Water Conservation



Scenic Preservation



Soil & Water Conservation

Address the provisions in the applicable district(s) as stated in Section 8.2 (E).

The lots created by this subdivision are larger than the required minimum lot size and Lot 2 will developed in a way that minimizes the clearing of trees and maintains rural characteristics.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

<u>Required</u>	<u>Submitted</u>	<u>Section 8.2 General Standards Cont'd</u>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	(F) Lot Layout

Explain how the proposed lots and lot layouts:

1. are suitable for their intended use, for subsequent development (building lots) or for resource or open space protection (conserved lots).

Proposed Lot 1 will retain the existing house at 4 Blakey Road. Proposed Lot 2 will be the site of a new 3-Bedroom House and detached Accessory apartment. The site slopes gradually from front to back and currently has an open area free of trees where the new house will constructed. The site has suitable soils for a mound type sewage disposal system which has been approved by the state.

2. conform to desired district settlement patterns, as required under Subsection E.

The new Lot 2 will be 9.17 acres which is much larger than the required minimum lot size. This subdivision will maintain the contiguous open lands at the back of the existing lot.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

<u>Required</u>	<u>Submitted</u>	<u>Section 8.2 General Standards Cont'd</u>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	(F) Lot Layout Cont'd.

Explain how the proposed lots and lot layouts:

3. meet minimum lot size and density requirements under Article II, except as modified for planned residential or planned unit developments under Article IX.

The proposed lots are 3.23 acres and 9.17 acres, both larger than the required 3.0 acre minimum lot size.

4. conform to lot and yard requirements under Section 3.7.

A building envelope was created using front and side yard setbacks from the Underhill regulations and a rear setback which will provide separation between the house and wastewater system.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

<u>Required</u>	<u>Submitted</u>	<u>Section 8.2 General Standards Cont'd</u>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	(F) Lot Layout Cont'd.

If irregularly shaped lots (e.g., with curves, jogs, dog-legs, etc.) are proposed, provide an explanation for their necessity.

The proposed subdivision will be created by a single new boundary line running west to east. All other boundary lines of the two proposed lots are existing.

<u>Required</u>	<u>Submitted</u>	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	(G) Building Envelopes

See application checklist.

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	(H) Survey Monuments
-------------------------------------	-------------------------------------	-----------------------------

See application checklist.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.2 General Standards Cont'd



(I) Landscaping & Screening

1. How does the proposal preserve existing trees, tree lines, wooded areas of particular natural or aesthetic value to the site, and significant wildlife habitat areas?

Minimal clearing will be required for the driveway, accessory apartment, drilled well and mound system. The proposed house on Lot 2 and the mound system serving both the house and apartment are proposed within an area which is currently mostly clear of vegetation. The rear of Lot 2 to the west of the proposed development will remain wooded.

2. How does the proposal comply with the requirement to provide an undisturbed vegetated buffer between developed and undeveloped portions of the subdivision, as necessary to minimize adverse impacts to surface waters and wetlands (See Section 3.19), or other natural or scenic resources under Section 8.3?

Existing trees shall remain along all edges of Lot 2 to provide a wooded buffer between adjacent lots.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.2 General Standards Cont'd



(I) Landscaping & Screening Cont'd

3. How does the proposal provide for physical separation and visual screening as necessary to provide privacy, reduce noise or glare, or to establish a buffer between potentially incompatible land uses?

All land uses in this area are residential. Wooded buffers shall be provided along all boundaries of the two proposed lots.

4. How does the proposal comply with the requirement to establish a tree canopy along roads or pedestrian walkways?

The existing trees along Poker Hill Road shall remain except where the new driveway meets Poker Hill Road.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.2 General Standards Cont'd



(J) Energy Conservation

Explain how the proposed subdivision design and layout, to the extent physically feasible, incorporates energy efficient design. See Section 8.2 (J) for recommended measures.

The proposed house and detached accessory apartment will share one driveway, one drilled well and one sewage disposal system. The tree cover to the south of the proposed buildings is the thinnest on site and will allow a fair amount of sun exposure.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.3 Natural & Cultural Resources



(A) Resource Identification & Protection

Identify any significant cultural and natural features in the area of the proposed development, and indicate how they will be conserved.

The rural residential district is characterized by wooded, medium density residential development. This project will match the characteristics of the surrounding development.

Required

Submitted



(B) Surface Waters, Wetlands & Floodplains

Explain how the proposed subdivision boundaries, lot lines and building envelopes are located and configured to avoid adverse impacts to surface waters, wetlands, special flood hazard areas (SFHAs), and designated Source Protection Areas (SPAs), and meet the specific requirements under Section 8.3 (B).

The Roaring Brook runs through the western portion of Lot 2. All proposed development is at least 200 feet from the top of bank of the brook. Existing culverts will remain and additional culverts shall be placed as necessary in order to preserve existing drainageways on site.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.3 Natural & Cultural Resources Cont'd



(C) Rock Outcrops, Steep Slopes, Hillsides & Ridgelines

Explain how the proposed subdivision boundaries, lot lines and building envelopes have been located and configured to minimize the adverse impacts of development on steep slopes (15% or more); to avoid site disturbance on very steep slopes (>25%); and to avoid the placement of structures on exposed rock outcrops and ledges and visually prominent hilltops and ridgelines.

The slope of existing grade in the areas of proposed development is between 7% and 11%. No development is proposed on steep slopes or rock outcroppings.

Indicate which of the recommended measures in Section 8.3 (C) have been incorporated into the overall plans.

This project will involve minimal clearing of trees and the proposed building envelope provides a minimum of 340 feet from Roaring Brook.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist



Required

Submitted

Section 8.3 Natural & Cultural Resources Cont'd



(D) Natural Areas & Wildlife Habitat

Address how the proposed subdivision boundaries, lot lines, and building envelopes have been located and configured to avoid the subdivision and fragmentation of, and adverse impacts to natural areas and significant wildlife habitat identified in the town plan and associated maps and inventories, by the Vermont Department of Fish & Wildlife, or through site investigation. Refer to Section 8.3 (D) for specific requirements.

VT Fish & Wildlife have not identified any significant natural areas or habitats on the project parcel. Regardless, all proposed development shall be kept close to Poker Hill Road and away from the wooded area in the western portion of the site where Roaring Brook runs.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.3 Natural & Cultural Resources Cont'd



(E) Historic & Cultural Resources

Have historic and archaeological site(s) and/or resource(s) have been identified in the area to be developed? Yes No *[If no, skip to (F) on the next page.]*

If site(s) and/or resource(s) have been identified, address how the proposed subdivision boundaries, lot lines, and building envelopes have been located and configured to minimize adverse impacts to historic and archaeological sites and resources identified in the town plan, by the Vermont Division for Historic Preservation (on state or national registers), or through site investigation. Refer to Section 8.3 (E) for specific requirements.

N/A

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.3 Natural & Cultural Resources Cont'd



(F) Farmland

Do areas of primary agricultural soils, open fields, orchards, or maple sugar stands exist in the area to be developed? Yes No *[If no, skip to (G) on the next page.]*

If such areas have been identified, address how the proposed subdivision boundaries, lot lines, and building envelopes have been located and configured to avoid the fragmentation of and adverse impacts to those areas. Include responses to the provisions under Section 8.3 (F).

The proposed development will not impact any prime agricultural soils, fields, orchards, or maple sugar stands.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist



Required

Submitted

Section 8.3 Natural & Cultural Resources Cont'd



(G) Forestland

Does the area to be developed include forestland? Yes No
[If no, skip to Section 8.4 (A) on the next page.]

If forestland exists, address the standards under Section 8.3(G).

N/A

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

<u>Required</u>	<u>Submitted</u>	<u>Section 8.4 Open Space & Common Land</u>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	(A) Open Space

Explain how the proposed development incorporates the provisions under Section 8.4 (A).

The project parcel does not contain any designated open space.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.4 Open Space & Common Land Cont'd



(B) Common Land

Does the area to be developed include land held in common for the preservation and maintenance of open space or the management and maintenance of shared facilities (e.g., community wastewater systems, community water supplies, recreation or community facilities, road and trail rights-of-way)? Yes No *[If no, skip to Section 8.5 below.]*

If the proposed development includes common land, will the land be held under separate ownership from the contiguous parcels? Yes No

Required

Submitted

Section 8.5 Stormwater Management & Erosion Control



Provide an explanation of and details for the temporary and permanent stormwater management and erosion control measures that will be used during all phases of subdivision development as necessary to limit surface runoff and erosion, protect water quality and to avoid damage to downstream properties in conformance with Section 8.5.

Silt fence shall be installed downslope from all development to collect any sediment carried by surface runoff. Construction fence shall be installed upslope from all development to prevent pedestrians from entering areas of construction. All areas of disturbance shall be stabilized with seed and mulch. See plans for erosion control details and specifications.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.5 Stormwater Management & Erosion Control Cont'd



Provide the existing and anticipated runoff, anticipated flows from storm events, and total runoff generated at build-out.

The proposed project will result in approximately 10,000 SF of new impervious surface.

Demonstrate that existing downstream drainage facilities will be able to accommodate any additional runoff from the subdivision at build-out.

Runoff shall be handled by natural on-site infiltration. Any stormwater runoff that does not infiltrate will be collected by existing drainageways which are to remain in place and these drainageways will convey stormwater to the Roaring Brook as they currently do.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

<u>Required</u>	<u>Submitted</u>	<u>Section 8.6 Transportation Facilities</u>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	(A) Access & Driveways

Address how the proposed access to the subdivision and to individual lots within the subdivision meets the requirements of Section 3.2 (Access Management), the Underhill Highway Ordinance, adopted state or municipal access management plans and capital or transportation improvement plans, and the provisions of Section 8.6 (A).

The proposed driveway meets the standards of the Underhill Zoning Regulations section 3.2(D)(9).

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

<u>Required</u>	<u>Submitted</u>	<u>Section 8.6 Transportation Facilities Cont'd</u>
-----------------	------------------	---



Will the proposed subdivision require access to VT Route 15? Yes No
[If no, skip to the next page.]

If the proposed access will be off of VT Route 15, address how the access meets the Vermont Agency of Transportation requirements for subdivision access onto state highways.

N/A

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

<u>Required</u>	<u>Submitted</u>	<u>Section 8.6 Transportation Facilities Cont'd</u>
-----------------	------------------	---



(B) Development Roads

Will the proposed development require the construction or upgrade of a private development road? Yes No *[If no, skip to (C) on the next page.]*

If a new or upgraded road is proposed, explain how the proposed development conforms to the Underhill Highway Ordinance, and the specific road standards under Section 8.6 (B).

N/A

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

<u>Required</u>	<u>Submitted</u>	<u>Section 8.6 Transportation Facilities Cont'd</u>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	(C) Parking Facilities

Will the proposed development include common or shared parking areas?

Yes No

If such areas are proposed, explain how the proposed development has been designed in accordance with Section 3.13.

N/A

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.7 Public Facilities & Utilities



(A) Public Facilities

Demonstrate how the proposed subdivision will not create an undue burden on existing and planned public facilities.

The proposed project will result in one single-family home with a detached accessory apartment. The addition of these two structures and their inhabitants will not create an undue burden on public facilities.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.7 Public Facilities & Utilities Cont'd



(B) Fire Protection

Does the proposed development incorporate water storage and distribution facilities for fire protection in accordance with fire department specifications? Yes No

Address the proposed access to developed lots as it relates to emergency response vehicles.

The proposed project includes a new driveway of standard width. A turnaround for emergency vehicles is provided by the driveway section that will serve the detached accessory apartment.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.7 Public Facilities & Utilities Cont'd



(C) Water Systems

Demonstrate that adequate potable water supplies exist on- or off-site to serve the subdivision. Include the requirements and considerations under Section 8.7 (C).

The proposed house and accessory apartment shall be provided potable water by an on-site drilled well which has received State Water and Wastewater permitting approval.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist



Required

Submitted

Section 8.7 Public Facilities & Utilities Cont'd



(D) Wastewater Systems

Demonstrate that adequate wastewater system capacities exist on- or off-site to serve the proposed subdivision. Include the requirements and considerations under Section 8.7 (D).

Wastewater from the proposed single-family home and detached accessory apartment shall be handled by a shared mound type wastewater disposal system which has received State Water and Wastewater permitting approval.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.7 Public Facilities & Utilities Cont'd



(E) Utilities

Will all proposed utilities be buried? Yes No

If any utilities are proposed above-ground, demonstrate that burial is not reasonable given physical site constraints (e.g., ledge or shallow depth to bedrock).

N/A

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.7 Public Facilities & Utilities Cont'd



(E) Utilities Cont'd

Address the provisions of Section 8.7 (E).

Electricity, telephone and television utilities shall be provided to the proposed buildings on Lot 2 via the utility lines that run along Poker Hill Road and provide utility services to the existing homes in the area.

TOWN OF UNDERHILL, VERMONT

Article VIII. Subdivision Standards Findings Checklist

Required

Submitted

Section 8.8 Legal Requirements



Provide documentation and assurances that all required improvements, associated rights-of-way and easements, and other common lands or facilities will be adequately maintained in accordance with an approved management plan, either by the applicant, an owners' association, or through other legal means acceptable to the DRB. Draft management plans and documentation must be submitted with the application for final subdivision review for approval by the DRB.

There are no common lands or facilities proposed as part of this project.



October 19, 2018

Mr. Andrew Strniste
Planning & Zoning Administrator
Town of Underhill
PO Box 120
Underhill, VT 05489

RE: Ken Hall – 2 Lot Subdivision
Combined Preliminary and Final Subdivision Application
4 Blakey Road, Underhill, VT 05489

Dear Andrew:

We are writing on behalf of Ken Hall to request scheduling for combined Preliminary and Final Subdivision review by the Development Review Board. A Sketch Subdivision Review hearing for this project was held on December 18, 2017.

This proposal is for the subdivision of the existing 12.4 acre parcel at 4 Blakey Road into two lots. Lot 1 is to be 3.23 acres and shall retain the existing 3-Bedroom House along with its associated drilled well, sewage disposal mound system, and driveway off Blakey Road. Lot 2 is to be 9.17 acres and will be the site of a new 3-Bedroom House and Detached 1-Bedroom Accessory Apartment. The new House and Accessory Apartment shall be served by a shared driveway off Poker Hill Road as well as a new on-site Drilled Well and Mound Type Sewage Disposal System. The Mound System and Drilled Well to serve Lot 2, the Replacement Septic Area for Lot 1 and the 2-Lot Subdivision have received State Wastewater System and Potable Water Supply permit approval (See attached).

Please find the following attached information:

1. Plans:
 - a. Two (2) 24"x36" plan set
 - b. Twelve (12) 11"x17" plan sets
2. Subdivision Applications (Preliminary and Final)
3. Application Checklists (Preliminary and Final)
4. Subdivision Standards Findings Checklist
5. State Project Review Sheet
6. State WW Permit (WW-4-5108)
7. \$500 Subdivision Final Plan Fee

If you have any questions or need additional information, please do not hesitate to call.

Sincerely,

Graham R. Tidman



To: Burlington Free Press
Classifieds/Legals
legals@bfp.burlingtonfreepress.com
860-5329

From: Town of Underhill
Zoning & Planning
P.O. Box 120
Underhill, VT 05489

LEGAL AD

Please e-mail to confirm receipt of this ad.



Release Date: NO LATER THAN 11/03/2018



NOTICE OF PUBLIC MEETING

Town of Underhill Development Review Board (DRB)

Monday, November 19, 2018

At the Underhill Town Hall, 12 Pleasant Valley Road, Underhill, VT

The DRB will hold a hearing on the combined Preliminary & Final Subdivision Review application by Kenneth Hall for a proposed two (2) lot subdivision of property he owns at 4 Blakey Road (BL004). This property is located in the Rural Residential zoning district. A site visit at the property's location will begin at 8:30 am on Sunday, November 18, 2018, and the hearing will commence at Underhill Town Hall at 6:35 PM on Monday, November 19, 2018.

Additional information may be obtained at the Underhill Town Hall. The hearing(s) are open to the public. Pursuant to 24 VSA §§4464(a)(1)(C) and 4471(a), participation in this local proceeding is a prerequisite to the right to take any subsequent appeal. If you cannot attend the hearing(s), comments may be made in writing prior to the meeting and mailed to: Andrew Strniste, Planning Director & Zoning Administrator, P.O. Box 120 Underhill, VT 05489 or to astrniste@underhillvt.gov.



Please call Andrew Strniste at the Planning & Zoning Administrator's office at 899-4434 x106 with any questions concerning this ad and to confirm receipt. Please remit bill to: Town of Underhill, RE: 11-19-18 DRB Hearing, P.O. Box 120, Underhill, VT 05489. Thank you.



Town of Underhill Development Review Board

P.O. Box 120, Underhill, VT 05489
www.underhillvt.gov

Phone: (802) 899-4434, x106
Fax: (802) 899-2137

Certificate of Service

I hereby certify that on this 1 day of November, 2018, a copy of the following documents were delivered to the below recipients and corresponding addresses by United States certified mail, return receipt requested. \$ 6.67

Documents:

Notice to abutting neighbors regarding a combined Preliminary & Final Subdivision Review meeting for a proposed 2-lot subdivision at 4 Blakey Road, Underhill, Vermont, owned by Kenneth Hall.

Recipients and Corresponding Address:

- | | |
|--|---|
| ✓ 4 Blakey Road (BL004)
Kenneth D. Hall
4 Blakey Road
Underhill, VT 05489 | ✓ 61 Poker Hill Road (PH061)
George J. & Catherine A. Gallant
61 Poker Hill Road
Underhill, VT 05489 |
| ✓ 3 Blakey Road (BL003)
Page E. Hood
Sean M. Kapusta
3 Blakey Road
Underhill, VT 05489 | ✓ 62 Poker Hill Road (PH062)
Peter M. & Valerie S. Duncan
62 Poker Hill Road
Underhill, VT 05489 |
| ✓ 14 Blakey Road (BL014)
Kenneth R. Tefft III
Janice Solek-Tefft
14 Blakey Road
Underhill, VT 05489 | ✓ 75 Poker Hill Road (PH075)
Matias Miguez
Deborah A. Towne
75 Poker Hill Road
Underhill, VT 05489 |
| ✓ 26 Blakey Road (BL026)
Kim Spaulding
26 Blakey Road
Underhill, VT 05489 | ✓ 79 Poker Hill Road (PH079)
Mark & Becky Beaucage
79 Poker Hill Road
Underhill, VT 05489 |



Andrew Strniste
Planning Director & Zoning Administrator
12 Pleasant Valley Road
Underhill, VT 05489

Date: 11/01/2018



Dear Andrew,

I am unfortunately unable to attend this Public Comment Period for the Preliminary & Final Subdivision Review Docket #: DRB-17-18. I have no direct comments for or against the proposal, however I do have one question/request I would like to have addressed at the meeting if it cannot be addressed prior to the meeting.

When reviewing the survey markers that have been placed as a part of the subdivision effort, it seems that the southeast border of our property was incorrectly marked. When comparing the map provided in Exhibit G – Existing Lot Configuration that was provided as a part of, DRB-17-18: Hall Sketch Plan Review (BL004 - 4 Blakey Road) against the boundaries generated electronically for other maps such as Exhibit L from the same location, and from the map of our own purchase of the property on 26 Blakey Road it appears that Exhibit G (and also the survey) used a map that does not reflect property changes since 1980 when the map was generated such as the 1997 subdivision of the 15.64 acres marked Sebring to Goetz in Exhibit G.

While I believe there should be no change between the two maps in regards to the border with the property currently under review, I have not been able to verify with our own maps that the borders are marked with the same dimensions as they were 38 years ago. I am asking that, if there are more current maps currently on record, that they be compared to the proposed subdivision maps to ensure that the dimensions used for the survey of the property being subdivided are the same.

As a note, I am not asking for a resurvey of either property. All I am asking is that we confirm that the property dimensions for the location under review match the current property dimensions for the location.

Thank you very much for your consideration.

Sincerely,

Kim Spaulding

TOWN OF UNDERHILL
P.O. Box 120
Underhill, VT 05489

A18-22

Phone: (802) 899-4434 Fax: (802) 899-2137

Prelim ACCESS PERMIT APPLICATION

All access permit applications require review by the Selectboard and Road Foreman.

*chk #112
10/29/18*

ZONING DISTRICT(S): PROPERTY CODE: BL 004 FEES: \$50+ recording fees

UFVC Rural Residential Water Conservation Scenic Preservation Soil & Water Conservation

NAME: KENNETH HALL	PROPERTY LOCATION: POKER HILL ROAD # 4 BLAKEY ROAD, UNDERHILL, VT
MAILING ADDRESS: 4 BLAKEY ROAD, UNDERHILL, VT 05489	ACREAGE: LOT #2 = 9.17 ACRES
PHONE: 802-343-9743	E-MAIL: VTKENHALL@GMAIL.COM (LOWER CASE)
CONSULTANT(S): OLEARY-BURKE	CONSULTANT CONTACT INFORMATION: 13 CORPORATE DRIVE, ESSEX JCT, VT 05452 802-878-9990

PLAN REQUIREMENTS (Attach plan to application)
All driveways and private roads must conform to the standards in the Underhill Road Policy. Waiver requests must be submitted at time of application. The plan must include accurate measurements of the following requirements:

- Proposed access on public or private road
- Property boundaries with measurements to proposed curb cut
- Landmarks sufficient to determine access point and path of traveled way
- Distance from all waterways
- All easements, covenants, and abutting property owners

APPLICANT SIGNATURE DATE

Kenneth D. Hall 10-29-18

FOR OFFICE USE ONLY

Received by Brian Bigelow Date: 10/29/2018

Road Foreman Inspection

Site Visit Date: 10/30/18 Road Classification (if applicable): IIA

Speed Limit/Average Running Speed (if applicable): 35 mph

Sight Distances: Left 500+ Right 500+

Culvert Required? No in ROW Yes Size

Comments, Restrictions, Conditions:

To be Reviewed by the Selectboard (Date) November 6, 2018

PRELIMINARY ACCESS PERMIT #A18 - 22 CONDITIONS

In regard to the Preliminary Access Permit application of: Kenneth Hall for the property at: 4 Blakey Road Underhill, VT (Lot #2) submitted: October 29, 2018 .

The permit is granted subject to the following conditions:

1. The driveways shall be built as shown on drawing(s) entitled Hall 2-Lot Subdivision, Sheets 1 - 3 dated 08/20/18, (Sheet #1 with a Revised date of 10/4/18) prepared by O'Leary-Burke Civil Associates, PLC. (Job #2018-02) and attached to this permit.
2. Any change in alignment, grade, drainage, use or other features will require either administrative amendment or application to the Selectboard pursuant to the Underhill Road, Driveway and Trail Ordinance adopted February 3, 2015 (the "Road Ordinance").
3. The erosion prevention and sedimentation control practices set out on the drawings referenced above, shall be followed.
4. ~~Culverts placed in the town right of way shall be placed and paid for as provided in the Underhill Road, Driveway and Trail Ordinance adopted February 3, 2015. N/A~~
5. Driveways shall be built according to State Agency of Transportation standard B-71 and all other applicable requirements of the Road Ordinance.
6. Other conditions:
 - The installation of a 15-foot by 37.5-foot turnaround on Lot #2, which would satisfy the requirements of Section 6.4.C of the 2015 Road Ordinance, as well as conform to the standard recommendations made by the Underhill-Jericho Fire Department; and
 - Ensure all turning radii satisfy the 35-foot requirement.

For the Underhill Selectboard:

Date:


11/6/18

Project Review Sheet


 Date Initiated ANR PIN# WW Project# Pre-application Review

Project Information

General Information

PROJECT NAME (if applicable) 4 Blakey Road Subdivision	PROJECT TOWN Underhill
PROJECT LOCATION (911 address if available) 4 Blakey Road	SPAN: 660-208-10004

Contact(s)

CONTACT TYPE Landowner	NAME Kenneth Hall	ORGANIZATION NAME (if applicable)
ADDRESS 4 Blakey Road	TOWN Underhill	STATE VT
PHONE 8023439743	CELL PHONE	ZIP 05489
PHONE	CELL PHONE	EMAIL vtkenhall@gmail.com
CONTACT TYPE Consultant	NAME Graham Tidman	ORGANIZATION NAME (if applicable) O'Leary-Burke Civil Associates, PLC
ADDRESS 13 Corporate Drive	TOWN Essex Junction	STATE VT
PHONE 8028789990	CELL PHONE	ZIP 05452
PHONE	CELL PHONE	EMAIL gtidman@olearyburke.com

Project Description

ENTERED BY Jeffrey McMahon	INFORMATION SOURCE Wastewater System & Potable Water Supply	DATE ENTERED 10/1/2018 2:59 PM
PROJECT DESCRIPTION Permit the subdivision of 12.4 acres; lot 1, 3.23 acres w/ an existing single family residence served by onsite water supply and wastewater disposal, and lot 2, 9.17 acres for a proposed single family residence and detached accessory apartment, both to be served by shared onsite water supply and wastewater disposal.		

DEC Prior Permits

PERMIT TYPE	PERMIT NUMBER
-------------	---------------

*Jurisdictional Opinion(s) for permits that may be needed from the District Environmental Office **PRIOR TO COMMENCEMENT OF CONSTRUCTION***

Act 250 Jurisdictional Opinion

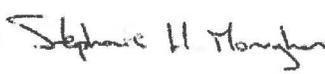
This is a jurisdictional opinion issued pursuant to 10 V.S.A. § 6007(c) and Act 250 Rule 3(A). Reconsideration requests are governed by Act 250 Rule 3(B) and should be directed to the district coordinator at the above address. Effective May 31, 2016, any appeal of this decision must be filed with the Superior Court, Environmental Division (32 Cherry Street, 2nd Floor, Ste. 303, Burlington, VT 05401) within 30 days of the date the decision was issued, pursuant to 10 V.S.A. Chapter 220. The Notice of Appeal must comply with the Vermont Rules for Environmental Court Proceedings (VRECP). The appellant must file with the Notice of Appeal the entry fee required by 32 V.S.A. § 1431, which is \$295.00. The appellant also must serve a copy of the Notice of Appeal on the Natural Resources Board, 10 Baldwin Street, Montpelier, VT 05633-3201, and on other parties in accordance with Rule 5(b)(4)(B) of the Vermont Rules for Environmental Court Proceedings.

PERSON REQUESTING JURISDICTIONAL OPINION Jeffrey McMahon	REQUESTOR TYPE Permit Specialist	ACT 250 PERMIT NUMBER (if any) No Act 250 found	HAS THE LANDOWNER SUBDIVIDED BEFORE? <input type="checkbox"/> Yes <input type="checkbox"/> No
TYPE OF PROJECT (check all that apply) <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Agricultural <input type="checkbox"/> Municipal <input type="checkbox"/> State <input type="checkbox"/> Federal			
IS AN ACT 250 PERMIT REQUIRED? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		COPIES SENT TO STATUTORY PARTIES? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

BASIS FOR DECISION

The proposed project does not constitute development under Act 250 Rule 2.

DISTRICT COORDINATOR SIGNATURE

 2018.10.01
10:43:15 -04'00'

Stephanie Monaghan, Coordinator



[phone] 802-879-5662 [email] stephanie.monaghan@vermont.gov
Natural Resources Board
District 4 Environmental Commission
111 West Street, Essex Junction, VT 05452

Wastewater System & Potable Water Supply Permit Jurisdictional Opinion

IS A WASTEWATER SYSTEM & POTABLE WATER SUPPLY PERMIT/APPROVAL REQUIRED?

- Yes Permit application currently under review
 No Permit issued on _____

*The following are preliminary, non-binding determinations made by DEC Permit Specialists identifying other permits that may be needed
PRIOR TO COMMENCEMENT OF CONSTRUCTION*

Preliminary, Non-binding Determination of the Applicability of Other State Permits

Note: Fact Sheet numbers below refer to permit fact sheets available at: <http://dec.vermont.gov/permits/handbook/info-sheets>

Department of Public Safety

- Construction Permit Fire Prevention, Electrical, Plumbing, Accessibility (ADA) [Fact Sheets #49, 50, 50.1, & 50.2]
 Williston: 802-879-2300

Vermont Energy Code Assistance Center

- Vermont Building Energy Standards [Fact Sheet #47.2]
Contact: Kelly Launder Email: kelly.launder@vermont.gov Phone: 802-828-4039

Local Permits

- See your Town Clerk, Zoning Administrator, Planning Commission or Public Works

PERMIT SPECIALIST SIGNATURE

 2018.10.01
14:59:30 -04'00'

Jeff McMahon, Permit Specialist



[phone] 802-477-2241 [email] jeff.mcmahon@vermont.gov
Department of Environmental Conservation
Environmental Assistance Office - Essex Regional Office
111 West Street, Essex Junction, VT 05452

WASTEWATER SYSTEM AND POTABLE WATER SUPPLY PERMIT

LAWS/REGULATIONS INVOLVED

10 V.S.A. Chapter 64, Potable Water Supply and Wastewater System Permit
Wastewater System and Potable Water Supply Rules, Effective September 29, 2007
Chapter 21, Water Supply Rules, Effective December 1, 2010

**Landowner(s): Kenneth Hall
4 Blakey Road
Underhill VT 05489**

Permit Number: WW-4-5108

This permit affects the following property in Underhill, Vermont:

<i>Lot</i>	<i>Parcel</i>	<i>SPAN</i>	<i>Acres</i>	<i>Book(s)/Page(s)#</i>
N/A	BL004	660-208-10004	12.40±	Book:204 Page(s):522

This project, to subdivide to create Lot 1 (3.23± acres) with an existing three bedroom single family residence and Lot 2 (9.17± acres) for a proposed three bedroom single family residence and detached one bedroom apartment, located on Blakey Road in Underhill, Vermont, is hereby approved under the requirements of the regulations named above subject to the following conditions.

1. GENERAL

- 1.1 The project shall be completed as shown on the plans and/or documents prepared by David Burke and Paul O'Leary P.E. from O'Leary-Burke Civil Associates, PLC, with the stamped plans listed as follows:

<i>Title</i>	<i>Sheet Number</i>	<i>Plan Date</i>	<i>Revision Date</i>
<i>Final Plan</i>	1	08/20/2018	10/04/2018
<i>Sewage Disposal Plan & Details</i>	2	08/22/2018	
<i>Driveway Profile and Water Supply Details</i>	3	08/23/2018	

- 1.2 This permit does not relieve the landowner from obtaining any and all other applicable state and local approvals and permits PRIOR to construction.
- 1.3 The conditions of this permit shall run with the land and will be binding upon and enforceable against the landowner and all assigns and successors in interest. The landowner shall record and index this permit in the Underhill Land Records within thirty, (30) days of issuance of this permit and prior to the conveyance of any lot subject to the jurisdiction of this permit.
- 1.4 The landowner shall record and index all required installation certifications and other documents that are required to be filed under these Rules or under a specific permit condition in the Underhill Land Records and ensure that copies of all certifications are sent to the Secretary.
- 1.5 No permit issued by the Secretary shall be valid for a substantially completed potable water supply and wastewater system until the Secretary receives a signed and dated certification from a qualified Vermont Licensed Designer (or where allowed, the installer) that states:

"I hereby certify that, in the exercise of my reasonable professional judgment, the installation-related information submitted is true and correct and the potable water supply and wastewater system were installed in accordance with the permitted design and all the permit conditions, were inspected, were properly tested, and have successfully met those performance tests",

or which otherwise satisfies the requirements of §1-308 and §1-911 of the referenced rules.



- 1.6 Lot 1 is approved with an existing three bedroom single family residence and Lot 2 is approved for the construction of a three bedroom single family residence and detached one bedroom apartment. Construction of additional nonexempt buildings including commercial and residential buildings is not allowed without prior permitting by the Drinking Water and Groundwater Protection Division and such permit may not be granted unless the proposal conforms to the applicable laws and regulations. No construction is allowed that will cause non-compliance with an existing permit.
- 1.7 Each purchaser of any portion of the project shall be shown a copy of the Wastewater System and Potable Water Supply Permit and the stamped plans prior to conveyance of any portion of the project to that purchaser.
- 1.8 By acceptance of this permit, the landowner agrees to allow representatives of the State of Vermont access to the property covered by the permit, at reasonable times, for the purpose of ascertaining compliance with the Vermont environmental and health statutes and regulations, and permit conditions.
- 1.9 Any person aggrieved by this permit may appeal to the Environmental Court within 30 days of the date of issuance of this permit in accordance with 10 V.S.A. Chapter 220 and the Vermont Rules of Environmental Court Proceedings.

2. WATER SUPPLY

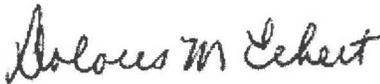
- 2.1 The components of the potable water supply herein approved shall be routinely and reliably inspected during construction by a qualified Vermont Licensed Designer (or where allowed, the installer) who shall, upon completion and prior to occupancy of the associated building, report in writing to the Drinking Water and Groundwater Protection Division that the installation was accomplished in accordance with the referenced plans and permit conditions, as specifically directed in Condition #1.5 herein.
- 2.2 Lot 2 is approved for a potable water supply using a drilled or percussion bedrock well for 560 gallons of water per day (420 gallons per day for the three bedroom single family residence and 140 gallons per day for the detached one bedroom apartment) provided the supply is located as shown on the stamped plans and meets or exceeds the isolation distances, construction standards, and water quality standards required in the Water Supply Rule. The landowner shall operate the potable water supply in a manner that keeps the supply free from contamination. The landowner shall immediately notify the Division if the water supply system fails to function properly and becomes a "failed supply".
- 2.3 The potable water source location as shown on the stamped plans shall be staked out and flagged by a qualified Vermont Licensed Designer prior to any construction on this project with the flagging being maintained until construction is complete.
- 2.4 Upon completion of the drilling of the well for Lot 2, a qualified licensed designer or well driller, shall submit to the Drinking Water and Groundwater Protection Division a copy of the water quality analysis and water quantity required by the Water Supply Rules, Appendix A, Part 11 that demonstrates the water quality meets the standards of the Rules as a potable water source and the quantity meets the demand for the water system design approved by this Permit. An amended application form, fee and complete engineering plans for such system shall be submitted for review and approval by the Drinking Water and Groundwater Protection Division should the water quality require treatment to meet the water quality standards, or, the water quantity requires modifications to the approved water system design to meet the average day demand, maximum day demand, or peak demand.
- 2.5 Lot 1 is approved with an existing onsite drilled well water supply system for 420 gallons of water per day provided the water supply meets or exceeds the isolation distances, construction standards, and water quality standards required in the Water Supply Rule. The landowner shall operate the potable water supply in a manner that keeps the supply free from contamination.
- 2.6 No changes shall be made to the existing water system unless prior approval is obtained from the Drinking Water and Groundwater Protection Division. No other means of obtaining potable water shall be allowed without prior review and approval by the Drinking Water and Groundwater Protection Division unless otherwise exempt. The landowner shall immediately notify the Division if the water supply system fails to function properly and becomes a "failed supply".

3. WASTEWATER DISPOSAL

- 3.1 The components of the sanitary wastewater system herein approved shall be routinely and reliably inspected during construction by a Vermont Licensed Designer who shall, upon completion and prior to occupancy of the associated building, report in writing to the Drinking Water and Groundwater Protection Division that the installation was accomplished in accordance with the referenced plans and permit conditions, as specifically directed in Condition #1.5 herein.

- 3.2 Lot 2 is approved for the disposal of wastewater in accordance with the design depicted on the stamped plans for 560 gallons of wastewater per day (420 gallons per day for the three bedroom single family residence and 140 gallons per day for the detached one bedroom apartment). The system shall be operated at all times in a manner that will not permit the discharge of effluent onto the surface of the ground or into the waters of the State. Should the system fail and not qualify for the minor repair or replacement exemption, the current landowner shall engage a qualified Vermont Licensed Designer to evaluate the cause of the failure and to submit an application to this office and receive written approval prior to correcting the failure.
- 3.3 Lot 2 is approved for the mound wastewater system provided the mound is constructed in strict accordance with the following conditions:
- a. The mound system is to be located and constructed as depicted on the plans that have been stamped by the Drinking Water and Groundwater Protection Division.
 - b. A qualified Vermont Licensed Designer shall inspect the mound system during critical stages of construction. This shall include the staking of the location of the mound, ensuring the site has been properly plowed prior to placement of the appropriate sand fill, the installation and testing of the distribution piping, final grading of the mound including side slopes, and pump station installation.
 - c. The construction of the mound shall adhere to the guidelines set forth in Section 1-913(f) of the above referenced rules.
- 3.4 The corners of the proposed primary wastewater area shall be accurately staked out and flagged prior to construction with the flagging/staking being maintained until construction is complete.
- 3.5 Lot 1 is approved with an existing wastewater system for 420 gallons of wastewater per day. No changes shall be made to the existing wastewater system unless prior approval is obtained from the Drinking Water and Groundwater Protection Division. Should the system fail and not qualify for the minor repair or replacement exemption, the landowner shall engage a qualified Licensed Designer to evaluate the cause of the failure and to submit an application to the Drinking Water and Groundwater Protection Division and receive written approval prior to correcting the failure.
- 3.6 A future replacement wastewater area for Lot 1 has been identified on the stamped plans. There shall be no construction or other activities that would impact the suitability of this replacement area for wastewater disposal.
- 3.7 The wastewater system for this project is approved for domestic type wastewater only except as allowed for water treatment discharges. No discharge of other type process wastewater is permitted unless prior written approval is obtained from the Drinking Water and Groundwater Protection Division.
- 3.8 No buildings, roads, water lines, earthwork, re-grading, excavation or other construction that might interfere with the installation or operation of the wastewater systems are allowed on or near the site-specific wastewater system or replacement area depicted on the stamped plans. All isolation distances that are set forth in the Wastewater System and Potable Water Supply Rules shall be adhered to and will be incorporated into the construction and installation of the wastewater system.

Emily Boedecker, Commissioner
Department of Environmental Conservation



By _____ Dated October 4, 2018
Dolores M. Eckert, Assistant Regional Engineer
Essex Junction Regional Office
Drinking Water and Groundwater Protection Division

cc: David Burke
Paul O'Leary P.E.
Underhill Planning Commission



Legend

- PROJECT BOUNDARY
- ADJUTER PROPERTY LINE
- SETBACK
- CONTOUR LINE (U.S.G.S. DATUM)
- TEST PIT
- PERCOLATION TEST
- WATERWAY
- SILT FENCE
- CONSTRUCTION FENCE

Zoning Information

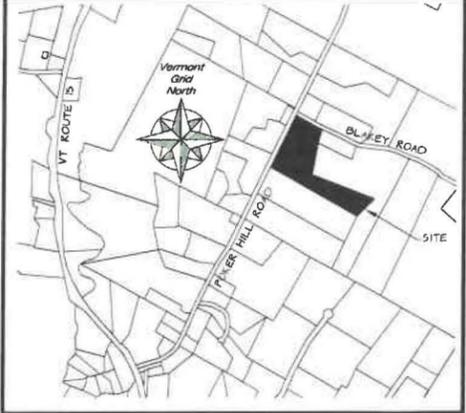
MAP ID#: BLO04 (12.4 ACRES)
 SPAN#: 66020810004
 ZONED: RURAL RESIDENTIAL

MINIMUM SETBACKS:
 FRONT: 30 FT
 SIDE: 50 FT
 REAR: 50 FT
 MINIMUM LOT SIZE: 3.0 ACRES
 MINIMUM FRONTAGE: 250 FT

EXISTING LOT:
 SIZE: 12.40 ACRES
 FRONTAGE: 369 FT (BLAKEY RD)
 756 FT (POKER HILL RD)

PROPOSED LOT #1:
 SIZE: 3.23 ACRES
 FRONTAGE: 369 FT (BLAKEY RD)
 342 FT (POKER HILL RD)

PROPOSED LOT #2:
 SIZE: 9.17 ACRES
 FRONTAGE: 414 FT

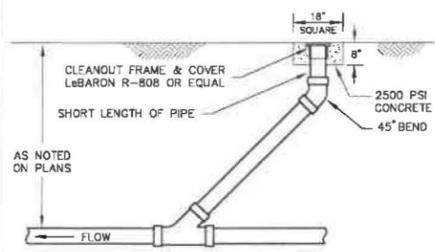
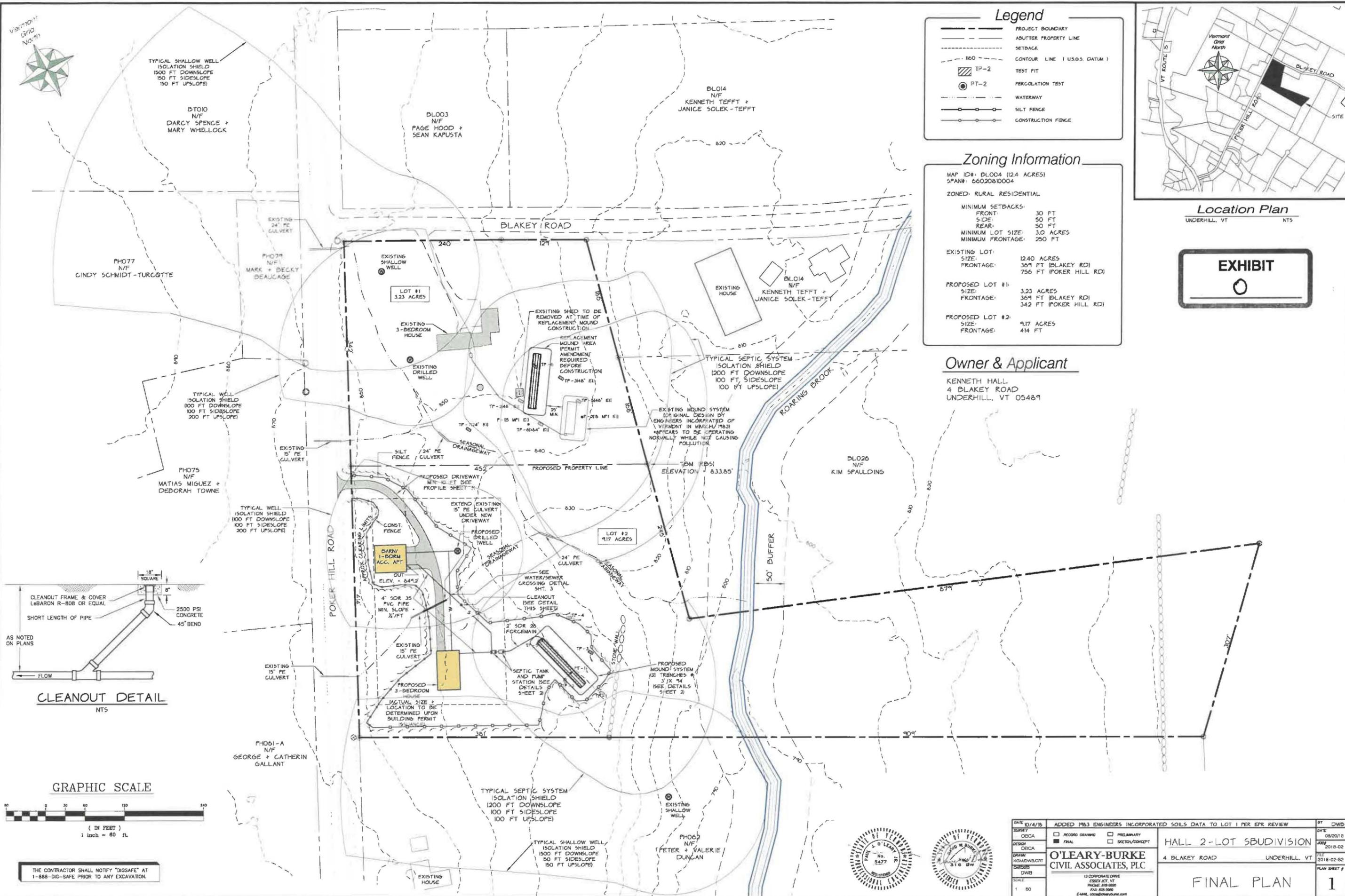


Location Plan
 UNDERHILL, VT NTS

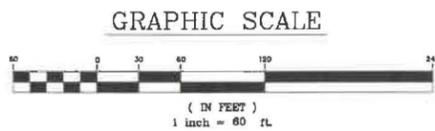


Owner & Applicant

KENNETH HALL
 4 BLAKEY ROAD
 UNDERHILL, VT 05489



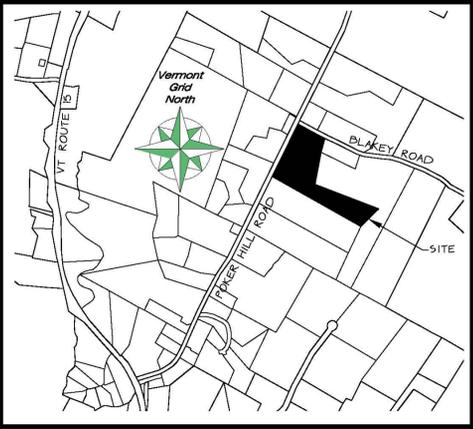
CLEANOUT DETAIL
 NTS



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



DATE: 10/14/18	ADDED 1963 ENGINEERS INCORPORATED SOILS DATA TO LOT 1 PER EPR REVIEW	BY: DWB
SKETCH: OBCA	<input type="checkbox"/> RECORD DRAWING <input type="checkbox"/> PRELIMINARY	DATE: 08/20/18
DESIGN: OBCA	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	DATE: 2018-02
DRAWN: KODMOW/SBRT	O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C.	PROJECT: HALL 2-LOT SUBDIVISION
CHECKED: DWB	13 CORPORATE DRIVE FLOOR 407, VT PHONE: 818-5880 FAX: 818-5880 E-MAIL: oob@olearyburke.com	ADDRESS: 4 BLAKEY ROAD UNDERHILL, VT
SCALE: 1" = 60'		DATE: 2018-02-22
		PLAN SHEET #
		FINAL PLAN
		1



Location Plan
UNDERHILL, VT NT5

Legend

	PROJECT BOUNDARY
	ADJUTER PROPERTY LINE
	SETBACK
	CONTOUR LINE (U.S.G.S. DATUM)
	TP-2
	PERCOLATION TEST
	WATERWAY
	SILT FENCE
	CONSTRUCTION FENCE

Zoning Information

MAP ID#: BL004 (12.4 ACRES)
SPAN#: 66020810004

ZONED: RURAL RESIDENTIAL

MINIMUM SETBACKS:
FRONT: 30 FT
SIDE: 50 FT
REAR: 50 FT

MINIMUM LOT SIZE: 3.0 ACRES
MINIMUM FRONTAGE: 250 FT

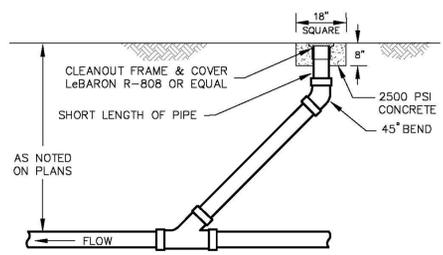
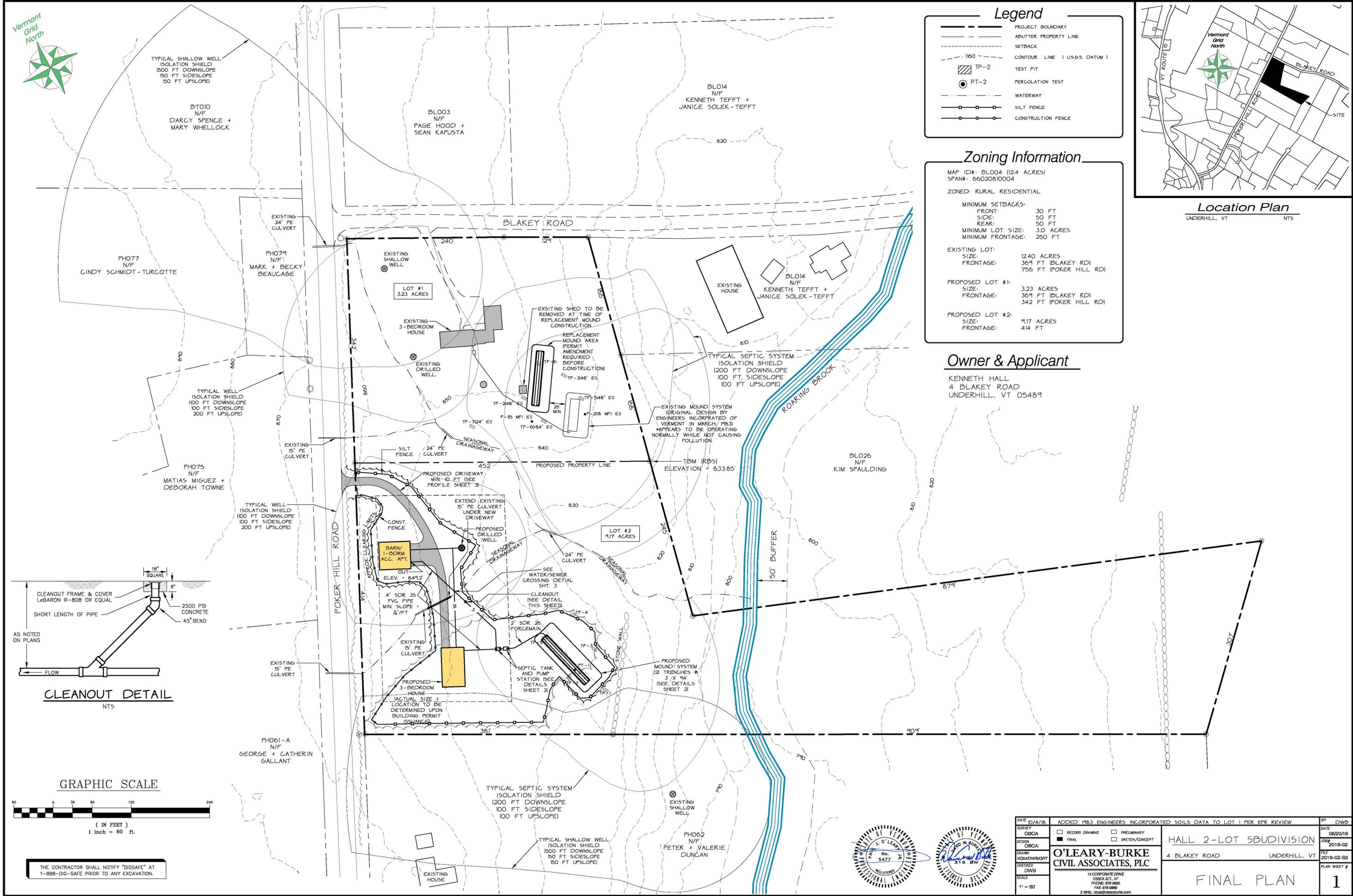
EXISTING LOT:
SIZE: 12.40 ACRES
FRONTAGE: 369 FT (BLAKEY RD)
756 FT (POKER HILL RD)

PROPOSED LOT #1:
SIZE: 3.23 ACRES
FRONTAGE: 369 FT (BLAKEY RD)
342 FT (POKER HILL RD)

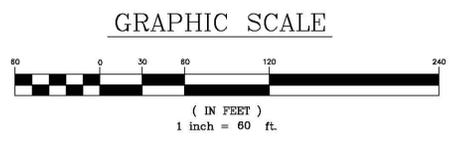
PROPOSED LOT #2:
SIZE: 9.17 ACRES
FRONTAGE: 414 FT

Owner & Applicant

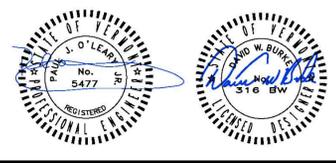
KENNETH HALL
4 BLAKEY ROAD
UNDERHILL, VT 05489



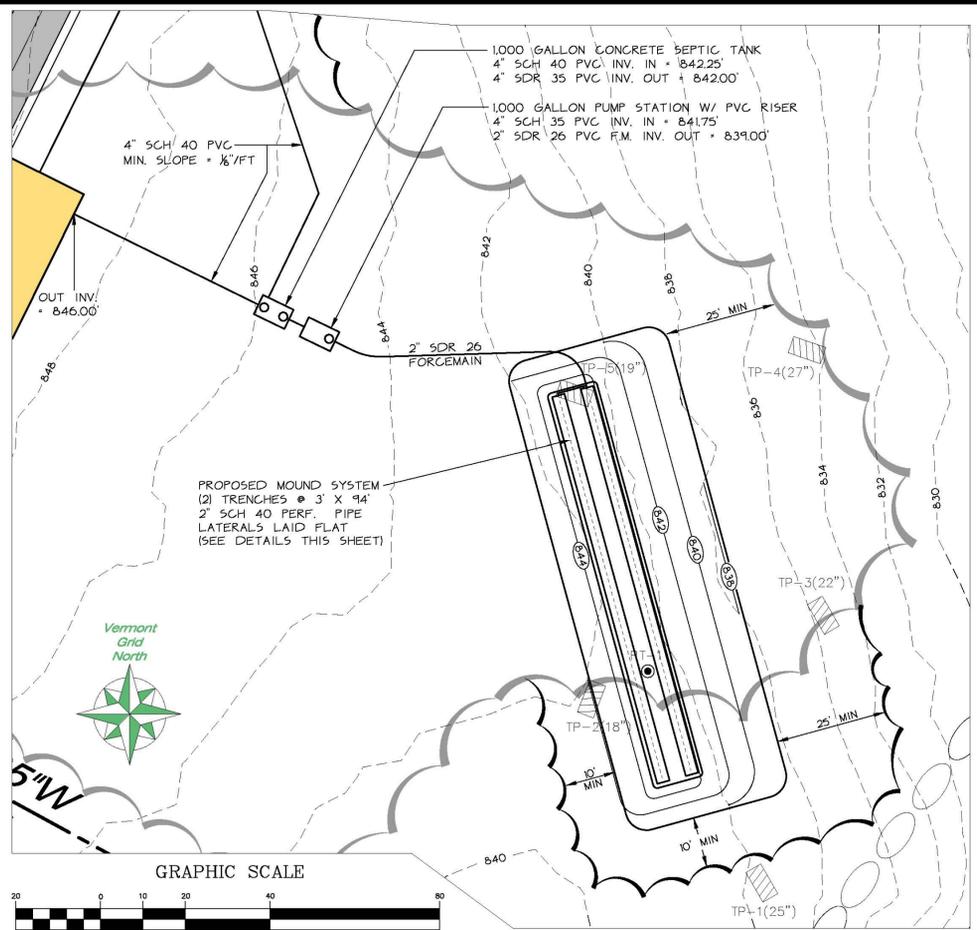
CLEANOUT DETAIL
NT5



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



DATE: 10/14/18	ADDED: 1983 ENGINEERS INCORPORATED SOILS DATA TO LOT 1 PER EPR REVIEW	BY: DWB
SURVEY: OBCA	<input checked="" type="checkbox"/> RECORD DRAWING <input type="checkbox"/> PRELIMINARY	DATE: 08/20/18
DESIGN: OBCA	<input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	DATE: 2018-02
DRAWN: KGM/DWB/BGT	HALL 2-LOT SUBDIVISION	
CHECKED: DWB	4 BLAKEY ROAD UNDERHILL, VT	
SCALE: 1" = 60'	FILE: 2018-02-52	
O'LEARY-BURKE CIVIL ASSOCIATES, P.L.C. 13 CORPORATE DRIVE ESSEX, VT PHONE: 878-9999 FAX: 878-9999 E-MAIL: obcas@olearyburke.com		PLAN SHEET #
FINAL PLAN		1



SOIL TEST PIT LOGS

DATE: 6/12/18
METHOD: EXCAVATOR
BY: DAVID BURKE

TP-1
0'-10": YELLOW/BROWN LOAM
10'-19": BROWN FINE SANDY LOAM
19'-25": GRAY/BROWN FINE SANDY LOAM
25'-42": GRAY/BROWN FINE SANDY LOAM, FIRM W/ FE+
NO H2O, NO LEDGE, REDOX AT 25'+

TP-2
0'-11": YELLOW/BROWN LOAM
11'-19": BROWN FINE SANDY LOAM
19'-25": BROWN FINE SANDY LOAM WITH FE+
25'-33": LIGHT GRAY FINE SANDY LOAM, FIRM W/ FE+ & FE-
33'-39": OLIVE/BROWN SILTY SAND, DENSE, FE+
NO H2O, NO LEDGE, REDOX @ 18"

TP-3
0'-9": DARK BROWN LOAM
9'-22": LIGHT BROWN FINE SANDY LOAM
22'-27": GRAY/BROWN FINE SANDY LOAM
W/ FE+ & FE-
27'-36": GRAY/BROWN FINE SANDY LOAM, FIRM
NO H2O, NO LEDGE, REDOX AT 22"

TP-4
0'-7": DARK BROWN LOAM
7'-17": BROWN FINE SANDY LOAM
17'-28": LIGHT BROWN FINE SANDY LOAM, 10% STONES
28'-44": GRAY/BROWN FINE SANDY LOAM, DENSE W/ 10% ROCKS
NO H2O, NO LEDGE, REDOX @ 27"

TP-5
0'-10": DARK BROWN LOAM
10'-14": RED/BROWN FINE SANDY LOAM
14'-21": LIGHT BROWN FINE SANDY LOAM, FE+ @ 19'
21'-36": GRAY VERY FINE SANDY LOAM, FIRM, FE-
NO H2O, NO LEDGE, REDOX @ 19"

TP-6 (Lot #1 Replacement Area)
10'-26": DARK BROWN LOAM
26'-36": GRAY/BROWN VERY FINE SANDY LOAM, DENSE
NO H2O, NO LEDGE, REDOX @ 25"

SUMMARY OF SOIL TEST PITS

TP-1&2 ON 12/30/13 WITH BILL ZABLOSKE; TP-6&7 ON 7/3/18

TEST PIT NUMBER	EXISTING GROUNDWATER (DEPTH IN INCHES)	REDOXIMORPHIC FEATURES (DEPTH IN INCHES)	EXISTING LEDGE (DEPTH IN INCHES)
1	> 42	25	> 42
2	> 39	18	> 39
3	> 36	22	> 36
4	> 44	27	> 44
5	> 36	19	> 36
6	> 36	25	> 36

PERCOLATION TEST RESULTS

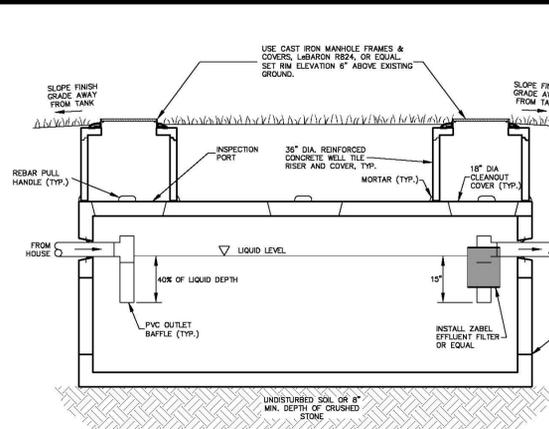
TESTS PERFORMED ON 6/24/18 BY TBC

TEST NUMBER	TEST DEPTH (INCHES)	PERCOLATION RATE (MINUTES/INCH)
PT 1	18	7.2 MIN./INCH

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

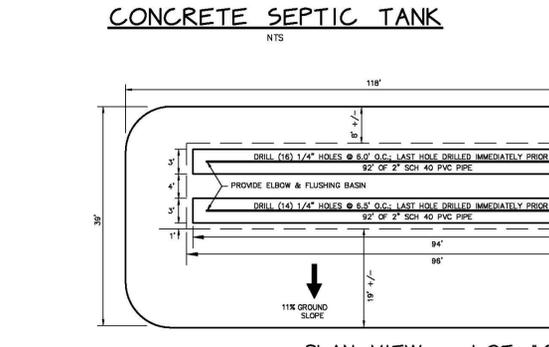
SEWAGE DESIGN INFORMATION

- THE MOUND SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THESE PLANS & THE ENVIRONMENTAL PROTECTION RULES.
- BASIS OF DESIGN:
 - NO. OF BEDROOMS (HOUSE) = 3
 - NO. OF BEDROOMS (ACC. APT.) = 1
 - TOTAL DESIGN FLOW = 420+140=560 GPD
 - PERCOLATION RATE = <60 MIN/INCH
 - APPLICATION RATE = 1.0 GPD/SF
 - ABSORPTION AREA REQUIRED: 560 / 1.0 = 560 SF
 - BASAL AREA REQUIRED: 560 / 0.74 = 757 SF
 - ABSORPTION AREA PROVIDED:
 - (2) TRENCHES @ 3' X 94' = 564 SF
 - BASAL AREA PROVIDED: 94' X 29' = 2,728 SF
- THE FOLLOWING MINIMUM ISOLATION DISTANCES SHALL BE MAINTAINED FROM THE DISPOSAL AREA:
 - PROPERTY LINE 25 FEET
 - BUILDING (WITH FOOTING DRAIN) UPSLOPE OR SIDESLOPE 35 FEET
 - BUILDING (WITH FOOTING DRAIN) DOWNSLOPE 75 FEET
 - DRIVEWAYS & PARKING LOTS 10 FEET
 - TREES 10 FEET
- SEPTIC TANK: USE A 1,000 GALLON REINFORCED PRE-CAST CONCRETE SEPTIC TANK AS MANUFACTURED BY CAMP PRECAST PRODUCTS OR APPROVED EQUAL, WITH TWO COVERS TO GRADE; WATERPROOF JOINTS & COATING; OUTLET FILTER; AND SET ON THOROUGHLY COMPACTED SUB-BASE.
- PUMP STATION:
 - A) USE A 1,000 GALLON PRE-CAST CONCRETE TANK AS MANUFACTURED BY CAMP PRECAST PRODUCTS OR APPROVED EQUAL, WITH ON COVER TO GRADE; 4,000 PSI CONCRETE; WATERPROOF JOINTS; AND SET ON THOROUGHLY COMPACTED SUB-BASE. EXTERNALLY COAT THE CONCRETE.
 - B) ALL BACKFILL MATERIAL AROUND THE TANK SHALL BE THOROUGHLY COMPACTED TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO-T-99 STANDARD PROCTOR.
 - C) ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE AND MATERIALS SHALL MEET U.L. APPROVAL.
 - D) PUMP SPECIFICATIONS:
 - LOT #2 HEAD LOSSES: FORCE MAIN (2" SDR 26 PVC X 60 LF= 2 FT, STATIC LIFT (843.40-839.00)= 5 FT, NETWORK LOSSES / FITTINGS= 2 FT, PRESSURE HEAD TO BE MAINTAINED= 3 FT, TOTAL HEAD LOSS= 12 FT, MIN. DISCHARGE RATE= 45 GPM
 - USE ONE (1) PUMP, SINGLE PHASE, 230 VOLTS, MINIMUM PASSING DIAMETER IS 1-1/2" SOLID SPHERE, 2" DISCHARGE PIPE CONNECTION, MINIMUM CAPACITY: SEE ABOVE AND ATTACHED.
 - E) THE CONTRACTOR SHALL VERIFY PUMP ADEQUACY WITH THE ENGINEER.
 - F) FLOAT CONTROL AND PANEL; ANCHOR SCIENTIFIC OR APPROVED EQUAL. ALARM PANEL SHALL HAVE AN AUDIO SIGNAL.
 - G) PUMP CONTROL SHALL BE BY S.J. ELECTRO SYSTEMS PUMP CONTROLS OR EQUAL.



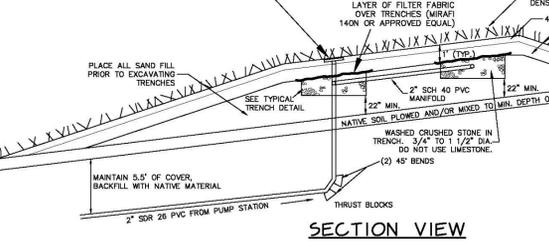
CONCRETE SEPTIC TANK

NTS



PLAN VIEW - LOT #2

NTS



SECTION VIEW

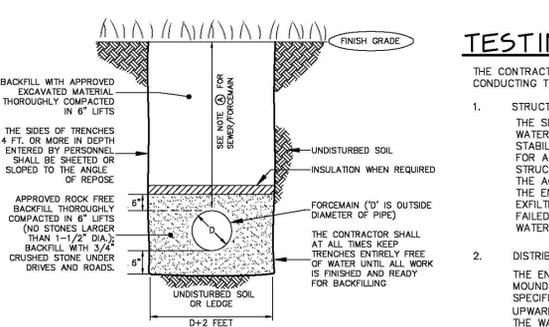
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STEPPED MOUND SYSTEM - LOT #2

NTS

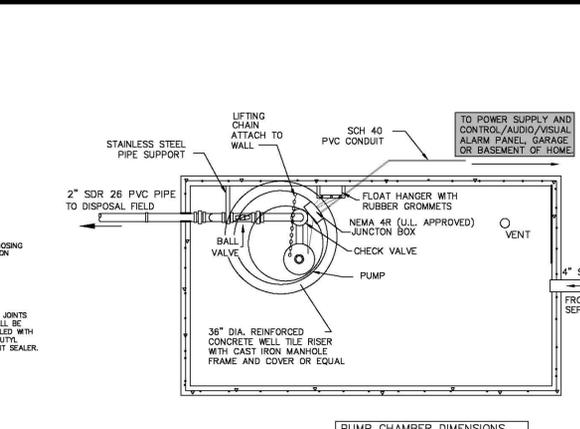
SAND FILL MATERIAL SHALL MEET ONE OF THE FOLLOWING SIEVE ANALYSES: (CONTRACTOR TO PROVIDE RECENT SIEVE ANALYSIS RESULTS MEETING BELOW)

A. SIEVE NO.	% PASSING	B. SIEVE NO.	% PASSING	C. SIEVE NO.	% PASSING
10	85-100	4	95-100	10	85-100
40	25-75	8	80-100	40	30-50
60	0-30	16	50-85	200	0-10
100	0-10	30	25-60		
200	0-5	50	10-30		
		100	2-10		



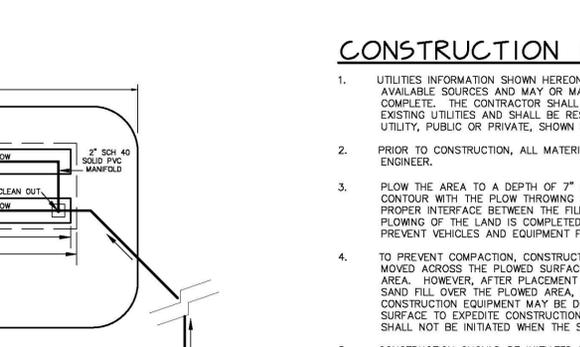
TYPICAL SEWER & FORCEMAIN TRENCH

NTS



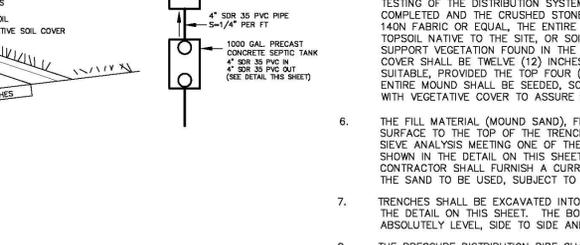
PUMP STATION

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PLAN VIEW

NTS

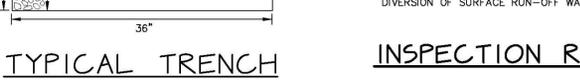


SECTION VIEW

NTS

TYPICAL TRENCH

NTS



TESTING REQUIREMENTS

- THE CONTRACTOR SHALL FURNISH ALL FACILITIES AND PERSONNEL FOR CONDUCTING THE FOLLOWING TESTS:
- STRUCTURES TEST:
 - THE SEPTIC AND PUMP STATION TANKS SHALL BE TESTED BY FILLING WITH WATER TO A POINT ONE (1) FOOT BELOW THE ACCESS LID. A STABILIZATION PERIOD OF ONE (1) HOUR SHALL BE PROVIDED TO ALLOW FOR ABSORPTION. AT THE END OF THE STABILIZATION PERIOD, THE STRUCTURES SHALL BE REFILLED IF NECESSARY TO ONE (1) FOOT BELOW THE ACCESS LID AND THE TEST PERIOD OF 24 HOURS SHALL BEGIN. AT THE END OF THE TEST, THERE SHALL BE NO VISIBLE OR MEASURABLE EXFILTRATION OR INFILTRATION, OR THE TEST SHALL BE CONSIDERED FAILED. IF THE TEST FAILS, THE CONTRACTOR SHALL REPAIR OR WATERPROOF AND RE-TEST AT NO EXTRA EXPENSE TO THE OWNER.
 - DISTRIBUTION LINES TEST:
 - THE ENGINEER MUST PERFORM A PRESSURE AND DISTRIBUTION TEST OF THE MOUND LATERALS BEFORE COVERING. AFTER DRILLING THE HOLES AS SPECIFIED, TEMPORARILY ROTATE THE LATERALS SO THAT THE HOLES POINT UPWARD. WHILE BEING PRESSURIZED BY THE PUMP STATION, THE HEIGHT OF THE WATER COLUMN BEING DISCHARGED FROM EACH HOLE WILL BE MEASURED TO VERIFY ADEQUATE PRESSURE AND EVEN DISTRIBUTION. WATER COLUMNS 2.3 FT OR HIGHER WILL CONSTITUTE A PASSING TEST. FOLLOWING THE DISCHARGE TEST ROTATE DOWN AND ADD ORIFICE SHIELDS.
 - PUMP STATION TEST:
 - THE CONTRACTOR AND THE ENGINEER SHALL BE PRESENT DURING START-UP. THE CONTRACTOR SHALL PROVIDE A WATER SOURCE TO PERFORM A FULL OPERATIONAL CHECK OF THE STATION, INCLUDING ALL FLOAT FUNCTIONS AND ALARM TESTING. THE PUMP SHALL BE FIELD-TESTED TO INSURE THE TESTED TO PUMPING CAPACITY MEETS THE PROJECT REQUIREMENTS.

CONSTRUCTION REQUIREMENTS

- UTILITIES INFORMATION SHOWN HEREON WERE OBTAINED FROM THE BEST AVAILABLE SOURCES AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON.
- PRIOR TO CONSTRUCTION, ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER.
- PLOW THE AREA TO A DEPTH OF 7" - 8", PARALLEL TO THE LAND CONTOUR WITH THE PLOW THROWING THE SOIL UPSLOPE TO PROVIDE A PROPER INTERFACE BETWEEN THE FILL AND THE NATURAL SOIL. ONCE THE PLOWING OF THE LAND IS COMPLETED, THE AREA SHALL BE FENCED TO PREVENT VEHICLES AND EQUIPMENT FROM ENTERING THE PLOWED AREA.
- TO PREVENT COMPACTION, CONSTRUCTION EQUIPMENT SHALL NOT BE MOVED ACROSS THE PLOWED SURFACE OR THE EFFLUENT DISPERSAL AREA. HOWEVER, AFTER PLACEMENT OF A MINIMUM OF SIX (6) INCHES OF SAND FILL OVER THE PLOWED AREA, LOW GROUND PRESSURE CONSTRUCTION EQUIPMENT MAY BE DRIVEN OVER THE PROTECTED SURFACE TO EXPEDITE CONSTRUCTION. CONSTRUCTION AND/OR PLOWING SHALL NOT BE INITIATED WHEN THE SOIL MOISTURE CONTENT IS HIGH.
- CONSTRUCTION SHOULD BE INITIATED IMMEDIATELY AFTER PREPARATION OF THE SOIL INTERFACE BY PLACING ALL OF THE SAND FILL NEEDED FOR THE MOUND TO THE DEPTH SHOWN ON THE PLANS. THIS DEPTH WILL PERMIT EXCAVATION OF THE TRENCHES TO ACCOMMODATE THE CRUSHED STONE AND DISTRIBUTION PIPING. AFTER THE TRENCHES AND DUG, THE STONE SHALL BE PLACED INTO THE TRENCH, HAND LEVELED AND THE DISTRIBUTION PIPE INSTALLED. THE ENGINEER SHALL WITNESS THE TESTING OF THE DISTRIBUTION SYSTEM. AFTER THE TESTING IS COMPLETED AND THE CRUSHED STONE HAS BEEN COVERED WITH MIRAFI 140N FABRIC OR EQUAL, THE ENTIRE MOUND SHALL BE COVERED WITH TOPSOIL NATIVE TO THE SITE, OR SOIL OF SIMILAR CHARACTERISTICS TO SUPPORT VEGETATION FOUND IN THE AREA. THE MINIMUM DEPTH OF THE COVER SHALL BE TWELVE (12) INCHES. NATIVE SOIL FROM THE SITE IS SUITABLE, PROVIDED THE TOP FOUR (4) INCHES OF COVER IS TOPSOIL. THE ENTIRE MOUND SHALL BE SEEDED, SODDED, OR OTHERWISE PROVIDED WITH VEGETATIVE COVER TO ASSURE STABILITY OF THE INSTALLATION.
- THE FILL MATERIAL (MOUND SAND), FROM THE NATURAL SOIL (PLOWED) SURFACE TO THE TOP OF THE TRENCH, SHALL BE SAND WITH A SIEVE ANALYSIS MEETING ONE OF THE THREE GRADING REQUIREMENTS SHOWN IN DETAIL ON THIS SHEET. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FURNISH A CURRENT SIEVE ANALYSIS REPORT ON THE SAND TO BE USED, SUBJECT TO APPROVAL BY THE ENGINEER.
- TRENCHES SHALL BE EXCAVATED INTO THE MOUND SAND AS SHOWN IN THE DETAIL ON THIS SHEET. THE BOTTOM OF THE TRENCHES SHALL BE ABSOLUTELY LEVEL, SIDE TO SIDE AND END TO END.
- THE PRESSURE DISTRIBUTION PIPE SHALL BE RIGID PLASTIC PIPE, SCHEDULE 40, WITH DIAMETER AS INDICATED. THE PIPE SHALL HAVE A SINGLE ROW OF HOLES, SIZE AND SPACING AS INDICATED ON THE DETAIL SHEET, ALONG THE LENGTH OF THE PIPE WITH THE LAST HOLE IN THE ENDCAP. ALL LATERALS SHALL BE LAID LEVEL. ALL JOINTS AND CONNECTIONS SHALL BE SOLVENT-CEMENTED.
- THE PRESSURE DISTRIBUTION PIPE SHALL BE PLACED ON 6 INCHES OF 3/4 TO 1-1/2 INCH WASHED CRUSHED STONE WITH THE HOLES DOWNWARD. THE WIDTH AND DEPTH OF THE CRUSHED STONE SHALL BE AS SHOWN ON THE PLANS. THE MATERIAL USED TO COVER THE TOP OF THE STORAGE VOLUME SHALL BE MIRAFI 140N FABRIC OR EQUAL. BUILDING PAPER OR HAY WILL NOT BE ALLOWED.
- THE AREA SURROUNDING THE MOUND SHALL BE GRADED TO PROVIDE DIVERSION OF SURFACE RUN-OFF WATERS.

INSPECTION REQUIREMENTS

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER & AUTHORIZED TOWN INSPECTOR A MINIMUM OF 24 HOURS IN ADVANCE FOR INSPECTION OF THE BOTTOM OF THE TRENCHES PRIOR TO PLACEMENT OF STONE AND PIPING.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER & AUTHORIZED TOWN INSPECTOR A MINIMUM OF 24 HOURS IN ADVANCE FOR INSPECTION OF THE SYSTEM PRIOR TO BACKFILLING, INCLUDING THE DISTRIBUTION BOX (LEVELNESS CHECK) & SEPTIC TANK.
- PUMP STATIONS: WITNESSING OF PUMP ON, OFF AND ALARM OPERATION, CHECK OF PUMPING RATE AND EMERGENCY STORAGE VOLUME.
- SEE "TESTING REQUIREMENTS" BELOW FOR ADDITIONAL INFORMATION.
- THIS DESIGN MUST BE INSPECTED BY O'LEARY-BURKE CIVIL ASSOCIATES, PLLC ESSEX JUNCTION, VERMONT TO ENSURE COMPLIANCE WITH THESE PLANS. O'LEARY-BURKE CIVIL ASSOCIATES, PLLC SHALL BE RESPONSIBLE FOR THE DESIGN AND LIABILITY FOR PROBLEMS THAT ARISE FROM FAILURE TO FOLLOW THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND LIABILITY FOR PROBLEMS THAT ARISE FROM FAILURE TO FOLLOW THESE PLANS. CONVEY AND FROM FAILURE TO HAVE BEEN NOTIFIED BY THE CONTRACTOR FOR INSPECTIONS.

STAKE-OUT REQUIREMENTS

- THE SEWAGE SYSTEM LOCATIONS SHALL BE STAKED OR VERIFIED BY O'LEARY-BURKE CIVIL ASSOCIATES, PLLC, PRIOR TO CONSTRUCTION.

OPERATION + MAINTENANCE RECOMMENDATIONS

- THE SEPTIC TANK'S PURPOSE IS TO SETTLE OUT SOLIDS, CONTAIN THE SCUM AND PASS TREATED EFFLUENT. BACTERIA WITHIN THE SEPTIC TANK HELPS DECOMPOSE THE SOLIDS. SHOULD ANY SOLIDS PASS THROUGH THE SEPTIC TANK INTO THE SYSTEM, PREMATURE CLOGGING OF THE PIPING, STONE OR NATIVE SOIL BENEATH THE SYSTEM IS LIKELY TO OCCUR. ONLY HUMAN WASTES SHOULD ENTER THE SEWAGE SYSTEM. WATER USE SHOULD BE CONSERVATIVE AND CLEANING AGENTS CAN NOT ENTER THE SYSTEM, AS THEY KILL BACTERIA.
- THE STATE FLOW FIGURES OF ARE BASED ON SHORT TERM PEAK USE PERIODS (IE DAILY EVENTS). ACTUAL FLOWS FOR A 4 BEDROOM HOME SHOULD AVERAGE 175 - 225 GALLONS PER DAY.
- ONCE PER YEAR, THE DEPTH OF SCUM AND SLUDGE IN THE SEPTIC TANK SHOULD BE MEASURED AND THE TANK SHALL BE PUMPED IF:
 - A) THE SLUDGE LEVEL IS WITHIN 12 INCHES OF THE BOTTOM OF THE TANK
 - B) THE SCUM LAYER IS WITHIN 3 INCHES OF THE TOP OF THE OUTLET
 - C) IF A OR B IS ANTICIPATED TO OCCUR PRIOR TO THE NEXT INSPECTION.
 - D) IN ANY CASE, THE TANK SHALL BE PUMPED AT A MAXIMUM 5 YEAR INTERVAL.
- ONCE PER YEAR, THE PUMP STATION SHOULD BE INSPECTED. ANY SOLIDS OR SLUDGE REMOVED.
- ABOVE ITEMS 1 - 4 ARE INTENDED TO PROLONG THE LIFE OF THE SYSTEM, NOT GUARANTEE IT. A PROPERLY OPERATED & MAINTAINED SYSTEM GENERALLY FUNCTIONS PROPERLY FOR 8 - 25 YEARS.

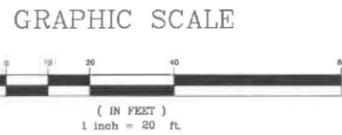
GENERAL SPECIFICATIONS

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST AGENCY OF NATURAL RESOURCES STANDARDS, 10-STATE STANDARDS, AWA STANDARDS, AND THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR A SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY BY THE ENGINEER, THE CONTRACTOR WILL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER OR APPLY CALCIUM CHLORIDE OR SWEEP THE ROADWAY WITH A POWER BROOM AS DUST CONTROL.
- ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEEDING AND MULCHING PRIOR TO OCTOBER 1 OF EACH YEAR. ANY DISTURBED AREAS OUTSIDE THE ROADWAY SHALL BE IMMEDIATELY SEEDED AND MULCHED WITHIN 15 DAYS. ANY WORK PERFORMED AFTER OCTOBER 1 OF EACH YEAR SHALL BE STABILIZED WITH MULCH AND NETTING SUFFICIENT TO PREVENT EROSION AND SHALL BE IMMEDIATELY SEEDED AND REMULCHED AS SOON AS WEATHER PERMITS IN THE SPRING.
- THE CONTRACTOR SHALL ENCLOSE THE TRUNKS OF LARGE TREES NEAR THE NEW CONSTRUCTION WITH SNOW FENCING TO PROTECT THE TREES FROM INJURY BY EQUIPMENT.
- ALL SLOPES, DITCHES, AND DISTURBED AREAS SHALL BE GRADED SMOOTH AND BE FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.
- ALL FILL OR BACKFILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4 INCHES OF TOPSOIL AND BE SEEDED, FERTILIZED, LIMED, AND MULCHED IN ACCORDANCE WITH THE FOLLOWING:
 - A) SEED MIXTURE IN ALL AREAS SHALL BE URBAN MIX CONFORMING TO THE TABLE TO THE RIGHT. FOR SEEDING BETWEEN SEPTEMBER 1 AND OCTOBER 1, WINTER RYE SHALL BE USED AT A RATE OF 100 LBS PER ACRE.
 - B) FERTILIZER SHALL BE STANDARD COMMERCIAL GRADE CONFORMING TO THE STATE FERTILIZER LAW AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. DRY FERTILIZER, IF USED, SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE. LIQUID FERTILIZER, IF USED, SHALL BE APPLIED IN A 1-2-1 RATIO WITH THE MINIMUM RATE TO INCLUDE 100 POUNDS OF NITROGEN, 200 POUNDS OF PHOSPHATE, AND 100 POUNDS OF POTASH PER ACRE.
 - C) LIMESTONE SHALL CONFORM TO ALL STATE AND FEDERAL REGULATIONS AND TO THE STANDARDS OF THE ASSOCIATION OF OFFICIAL AGRICULTURAL CHEMISTS. THE LIMESTONE SHALL BE APPLIED AT A RATE OF ONE TON PER ACRE AS DIRECTED.
 - D) WITHIN 24 HOURS OF APPLICATION OF FERTILIZER, LIME, AND SEED, THE SURFACE SHALL BE MULCHED WITH A HAY MULCH. MULCH SHALL BE SPREAD UNIFORMLY OVER THE AREA AT A RATE OF TWO TONS PER ACRE AS ORDERED BY THE ENGINEER.
 - E) ALL TURF ESTABLISHMENT SHALL BE PERFORMED IN ACCORDANCE WITH THE VERMONT STANDARD SPECIFICATIONS FOR CONSTRUCTION, SECTION 651.
 - F) TOPSOIL SHALL BE STOCKPILED, SEEDED, AND MULCHED UNTIL REUSED. HAYBALS SHALL BE PLACED AND STAKED CONTINUOUSLY AROUND THE BOTTOM OF THE TOPSOIL FILES.





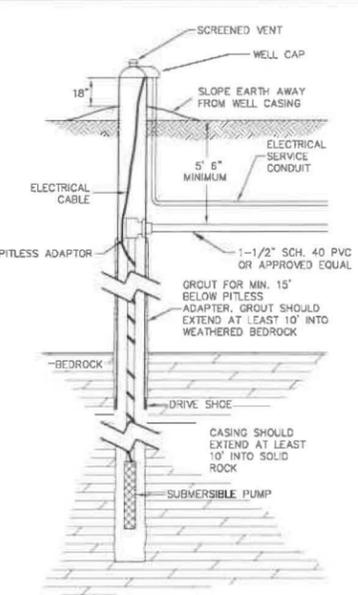
DRIVEWAY PLAN VIEW
SCALE: 1" = 20'



GENERAL CONSTRUCTION SPECIFICATIONS

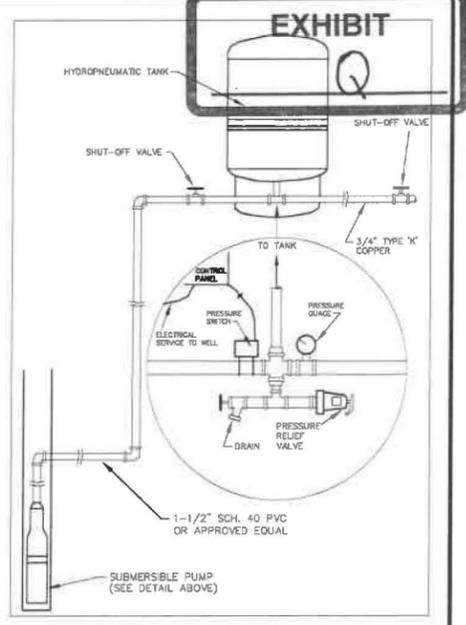
- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. CONTRACTOR SHALL VERIFY NEW TAP LOCATIONS AND SHALL CONNECT ALL UTILITIES TO NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DESTRUCTION OF ALL EXISTING VEGETATION, PAVEMENT, AND STRUCTURES NECESSARY TO COMPLETE THE WORK UNLESS NOTED ON THESE PLANS. CONTRACTOR SHALL REMOVE ALL TRASH FROM SITE UPON COMPLETION OF CONSTRUCTION. ANY SURFACES, LINES OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO BEGINNING OF CONSTRUCTION.
- SEE OTHER DETAIL SHEETS OF THESE PLANS FOR ADDITIONAL DETAILS, REQUIREMENTS AND SPECIFICATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE TOWN PUBLIC WORKS SPECIFICATIONS, AND THESE PLANS.
- A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, PEAK HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. IF DEEMED NECESSARY BY THE OWNER, MUNICIPALITY OR ENGINEER, A UNIFORMED TRAFFIC CONTROL OFFICER SHALL DIRECT TRAFFIC DURING PEAK HOURS. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERECTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND TOWN STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY, THE CONTRACTOR WILL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE, OR SWEEP THE ROADWAY WITH A POWER BROOM FOR DUST CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK, CUTTING PAVEMENT, BEGINNING THE INSTALLATION OF ANY UTILITIES, BRIDGING IN ANY NEW GRAVEL OR STONE FOR THE NEW BASE, PAVING, ALL TESTING, AND FINAL INSPECTION, IN ORDER TO ASSURE COMPLIANCE WITH THE PLANS.
- PRIOR TO BEGINNING CONSTRUCTION, ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER.
- ALL FILL SHALL BE PLACED IN 6 INCH LIFTS AND THOROUGHLY COMPACTED TO 95% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM D698 STANDARD PROCTOR, AND SHALL BE TESTED AT 500' INTERVALS, UNLESS OTHERWISE SPECIFIED.
- BACKFILL UNDER PIPES IN FILL AREAS SHALL BE COMPACTED TO 85% OF MAXIMUM DENSITY OF OPTIMUM MOISTURE CONTENT. A MINIMUM OF TWO (2) COMPACTION TESTS SHALL BE TAKEN AT THE CONTRACTOR'S EXPENSE, UNDER EACH RUN OF PIPE PRIOR TO INSTALLING THE PIPES. THE PIPES SHALL ONLY BE INSTALLED OVER ADEQUATELY COMPACTED SOILS.
- THE HAYBALE DAMS, SILT FENCES, AND DITCHES SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR AFTER EVERY RAINFALL OR AS ORDERED BY THE ENGINEER UNTIL ALL DISTURBED AREAS HAVE BEEN PAVED OR GRASSED AND APPROVED BY THE ENGINEER. THE MAINTENANCE OF THE EROSION CONTROL DEVICES WILL INCLUDE THE REMOVAL OF ANY ACCUMULATED SEDIMENTATION.
- THIS DESIGN MUST BE INSPECTED BY O'LEARY-BURKE CIVIL ASSOCIATES, P.C., ESSEX JUNCTION, VERMONT, TO ENSURE COMPLIANCE WITH THESE PLANS. O'LEARY-BURKE WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THAT THE PLANS CONVEY, AND FROM FAILURE TO HAVE BEEN NOTIFIED BY THE CONTRACTOR TO INSPECT THE WORKS AND TESTS IN PROGRESS.
- ALL SLOPES, DITCHES AND DISTURBED AREAS SHALL BE GRADED SMOOTH, CLEAN AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO ENSURE DRAINAGE.

INDIVIDUAL DRILLED WELL



INDIVIDUAL DRILLED WELL DESIGN DATA

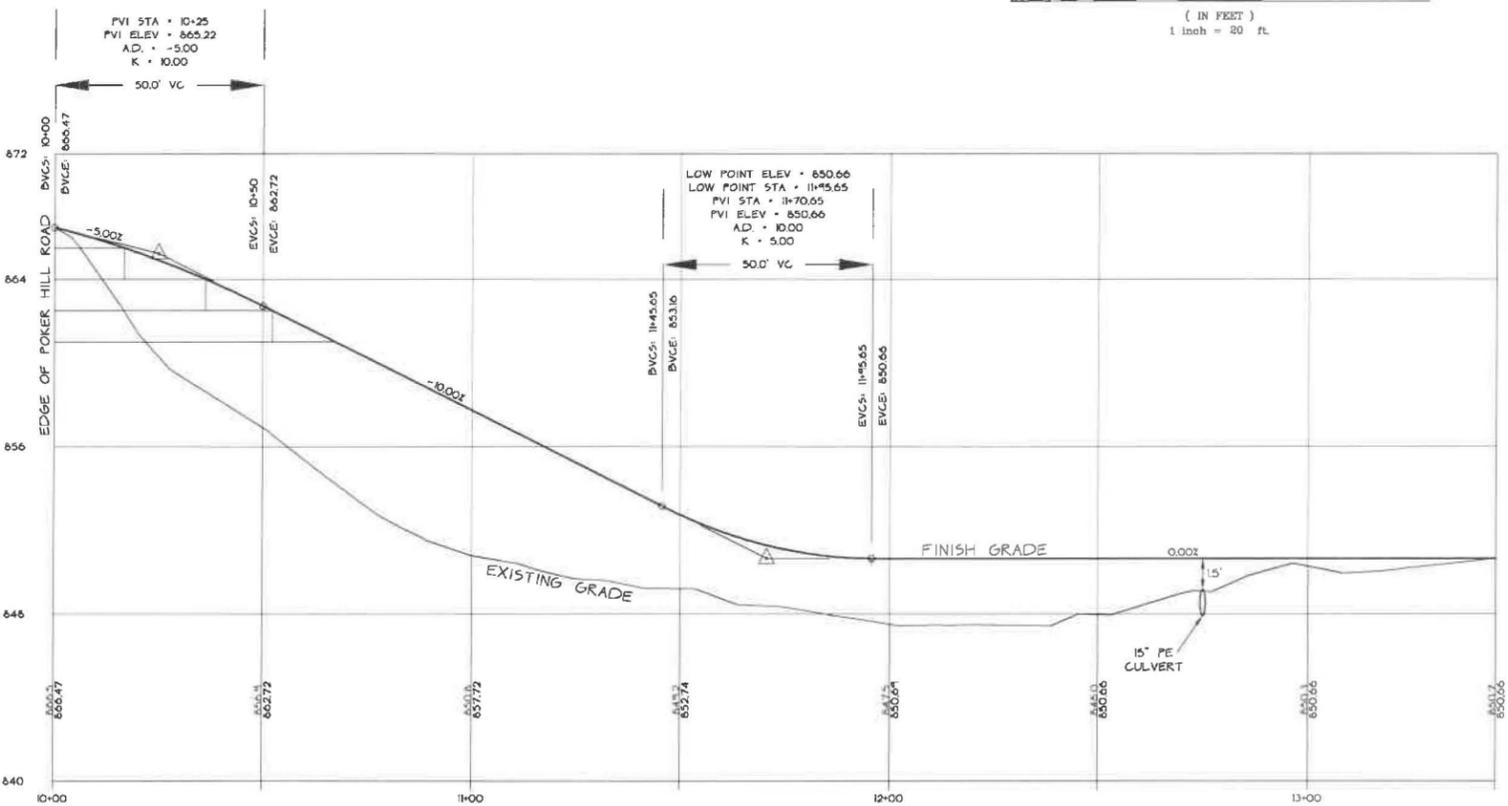
- THE DRILLED WELL CONSTRUCTION, LOCATION, DISINFECTION AND TESTING SHALL BE IN ACCORDANCE WITH THE STATE OF VERMONT - WATER SUPPLY
- THE BASIS OF DESIGN FOR THE PROPOSED DRILLED WELL (LOT #2) IS
 - AVG. DAY DEMAND : 560 GPD (3-BDRM + 1-BDRM ACC. APT.)
 - MAX. DAY DEMAND : 560 GPD/720 MIN/DAY = 0.78 GPM
 - INSTANTANEOUS PEAK DEMAND: 5 GPM X 2 UNITS = 10 GPM
 - SOURCE CAPACITY: TO BE DETERMINED, AREA WELL LOGS SHOW AN ADEQUATE WATER SOURCE IN THE PROJECT AREA.
 - STORAGE CAPACITY: SIZE TO BE DETERMINED BASED ON WELL YIELD (IF REQUIRED).
 - PUMP CAPACITY AT EACH UNIT: 5 GPM MINIMUM
 - OPERATING PRESSURE RANGE: 40 - 60 PSI AT PRESSURE SWITCH
- THE BASIS OF DESIGN FOR THE EXISTING DRILLED WELL (LOT #1) IS
 - AVG. DAY DEMAND : 420 GPD (3 BEDROOM)
 - MAX. DAY DEMAND : 420 GPD/720 MIN/DAY = 0.58 GPM
 - INSTANTANEOUS PEAK DEMAND: 5 GPM X 1 UNIT = 5 GPM
 - SOURCE CAPACITY: TO BE DETERMINED, AREA WELL LOGS SHOW AN ADEQUATE WATER SOURCE IN THE PROJECT AREA.
 - STORAGE CAPACITY: SIZE TO BE DETERMINED BASED ON WELL YIELD (IF REQUIRED).
 - PUMP CAPACITY AT HOUSE: 1 LOT @ 5 GPM = 5 GPM MINIMUM
 - OPERATING PRESSURE RANGE: 40 - 60 PSI AT PRESSURE SWITCH



INDIVIDUAL WATER SYSTEM

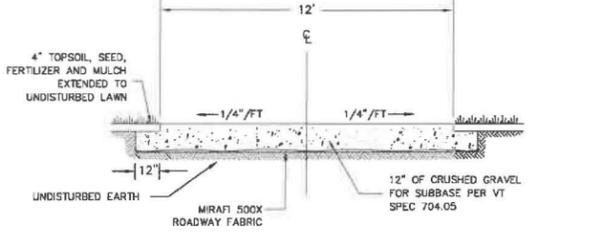
DRILLED WELL ISOLATION DISTANCES

ROADWAY, PARKING DRIVES, < 3 RESIDENCES	25 FEET
SEWAGE PIPING / TANKS	15 FEET
PROPERTY LINE	50 FEET
SURFACE WATER BUILDINGS	10 FEET
SEWAGE SYSTEM: DOWNSLOPE WELL	200 FEET
UPSLOPE WELL	100 FEET

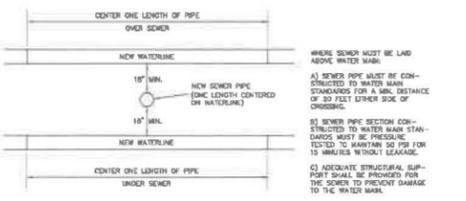


DRIVEWAY PROFILE

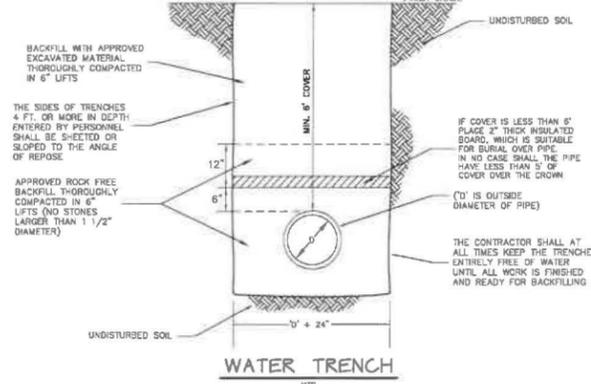
SCALE: 1" = 20' HORIZONTAL
SCALE: 1" = 4' VERTICAL



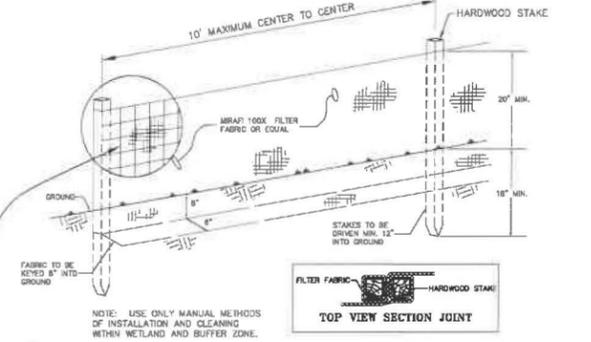
TYPICAL DRIVEWAY DETAIL



SEWER/WATER SEPARATION DETAIL FOR CROSSINGS



WATER TRENCH



TEMPORARY SILT FENCE

- NOTES:
- WHERE SILT FENCE IS WITHIN 100' UPSLOPE OF RECEIVING WATERS, ADDITIONAL WOVEN WIRE FENCE SHALL BE SECURELY FASTENED TO FENCE POSTS WITH WIRE TIES.
 - FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUIVALENT.
 - PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE OR APPROVED EQUIVALENT.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN SEDIMENT REACHES HALF OF FABRIC HEIGHT.



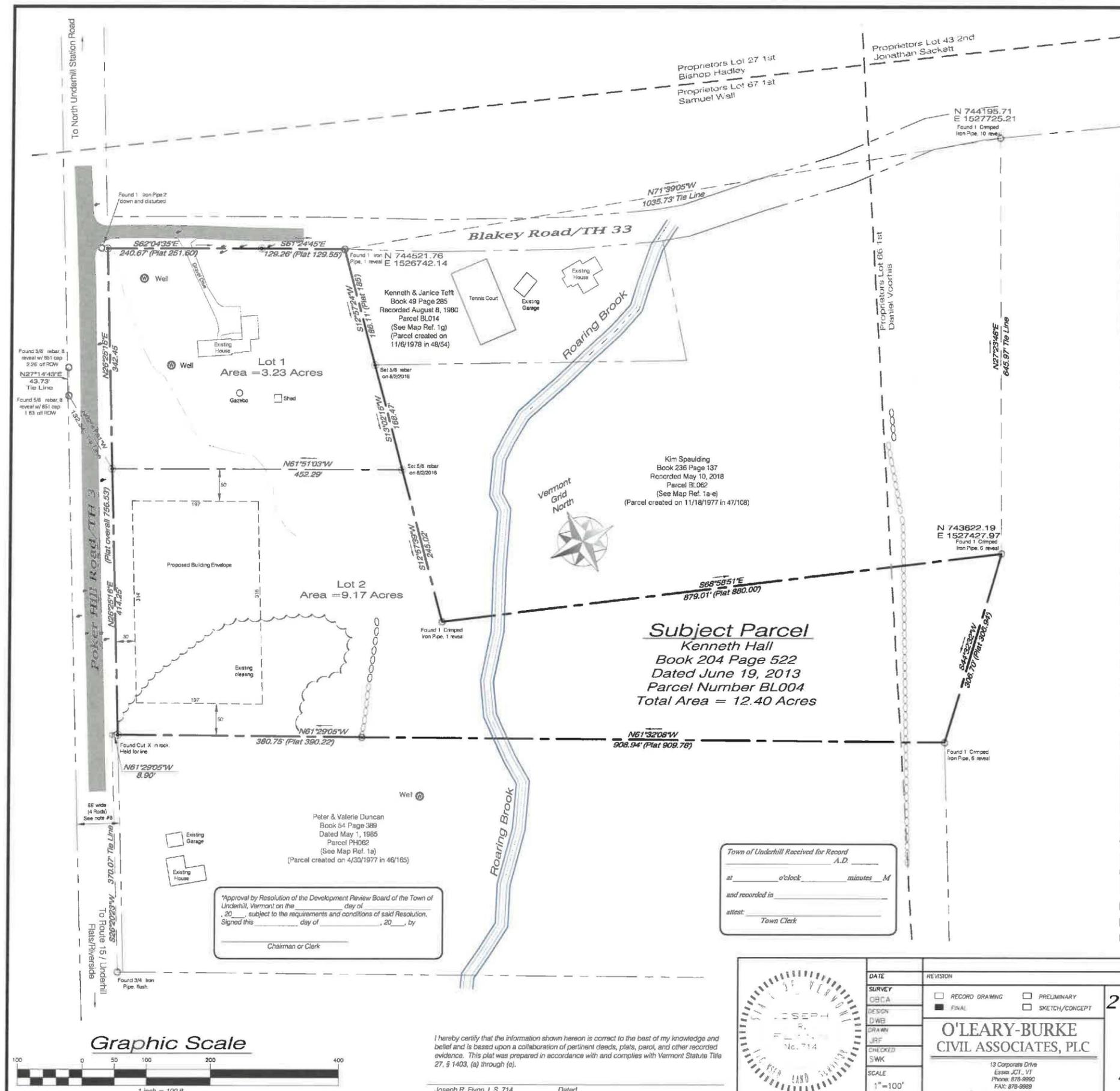
DATE: SURVEY: CS/CA DESIGN: CS/CA DRAWN/DWG/PT: DVB CHECKED: DVB SCALE: 1/50	<input type="checkbox"/> RECORD DRAWING <input checked="" type="checkbox"/> FINAL <input type="checkbox"/> PRELIMINARY <input type="checkbox"/> SKETCH/CONCEPT O'LEARY-BURKE CIVIL ASSOCIATES, P.C. 12 CORPORATE DRIVE ESSEX, VT 05732 PHONE: 878-9889 FAX: 878-9888 E-MAIL: o'b@olearyburke.com	BY: DATE: 08/23/18 2018-02 HALL 2-LOT SUBDIVISION 4 BLAKEY ROAD UNDERHILL, VT DRIVEWAY PROFILE AND WATER SUPPLY DETAILS PLAN SHEET 7 3
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THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



Location Plan-n.t.s.

This is an Original Mylar



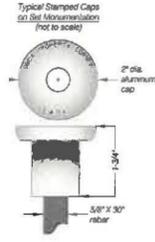
Survey Notes

- 1. The survey is based upon research performed in the Underhill Town Land Records and the following plats and plans:
a. "Plat of Survey Showing Portion of Sebring Property" prepared by Warren Robenstien, L.S., not dated and filed in the rear sleeve pocket of Book 54 of the Town of Underhill Land Records.
b. "Plat of Survey Showing Portion of Sebring Property" prepared by Warren Robenstien, L.S., dated December 1977 and filed in slide 23 of the Town of Underhill Land Records.
c. "Plat of Survey Showing Portion of Sebring Property" prepared by Warren Robenstien, L.S., dated June 1980 and filed in slide 47 of the Town of Underhill Land Records.
d. "Subdivision Plan, R. Wheatley & F. Richards" prepared by William Robenstien, L.S., not dated and filed in slide 153 of the Town of Underhill Land Records.
e. "Property Map, R. Wheatley & F. Richards" prepared by William Robenstien, L.S., dated August 5, 1997 and filed in slide 155 of the Town of Underhill Land Records.
f. "Survey and Subdivision of the Lands of Cindy Schmidt" prepared by McCain Consulting Inc., L.S., dated February 7, 2006 and filed in slide 224 of the Town of Underhill Land Records.
g. "Land plot of Kenneth & Janice Teft" prepared by unknown, dated October 13, 1986 and filed in Book 49 page 287 of the Town of Underhill Land Records.
h. Beers Atlas, 1869.
2. Bearings are based on Vermont Grid Zone 4400, computed from RTK GPS observations made on June 21, 2017 from a Trimble R6 Unit with differential corrections from CORS Station Richmond. Datum utilized is NAD 83(2011) epoch 2010.0, NAVD 88 (geoid12b).
3. Survey methods employed (total station) and the resulting error of closure/precision ratio, meet or exceed minimum precision requirements for Urban Surveys as outlined in "Standards for the Practice of Land Surveying", adopted by the Vermont Board of Land Surveyors, effective 01/07/2013.
4. There may be additional easements, restrictions, and/or reservations not shown herein that may or may not be found in the Town of Underhill Land Records.
5. This survey depicts the property lines of the Kenneth Hall based upon record research conducted by Joseph Flynn, L.S..
6. This plat is for the depiction of boundaries based upon V.S.A. Title 26 Chapter 45 section 2502 (3) and (4). Any information identified graphically or noted on this plat which is outside the scope and expertise of a Vermont Licensed Land Surveyor as outlined in the status herein referenced to, is not warranted to be correct and is not covered by the certification contained herein.
7. This plat is for the identification of boundary lines of the Kenneth Hall. Other information is shown for both illustrative purposes and to offer assistance in the conclusions reached by this survey. Only the Boundary lines of the Kenneth Hall are certified to, all others not warranted to be correct and are subject to revisions.
8. Right of Way for Poker Hill Road is based on existing field evidence, map ref. 1a and layout in Town Records Book xx Page xx on xxxxxxxx.
9. Valid for recording only if stamped in the left margin with "This is an Original Mylar", signed, dated and stamped with blue ink containing the Licensed Land Surveyors Seal.

Subject Parcel
Kenneth Hall
Book 204 Page 522
Dated June 19, 2013
Parcel Number BL004
Total Area = 12.40 Acres

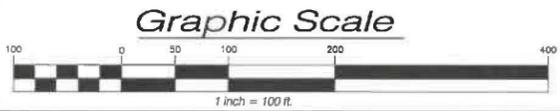
Legend

- Found Iron Pipe/ Rebar
Set Iron Pipe/ Rebar
Utility / Guywire
Boundary Line
Abutting Boundary Line
New Property Line
Easement Line
Proprietors Lot Line
Overhead Utility Line
Stone Wall
Barbed Wire Fence



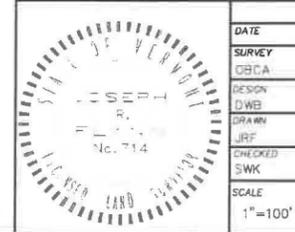
Approval by Resolution of the Development Review Board of the Town of Underhill, Vermont on the ___ day of ___, 20___, subject to the requirements and conditions of said Resolution. Signed this ___ day of ___, 20___, by ___ Chairman or Clerk

Town of Underhill Received for Record A.D. ___ at ___ o'clock ___ minutes M and recorded in ___ attest: ___ Town Clerk



I hereby certify that the information shown hereon is correct to the best of my knowledge and belief and is based upon a collaboration of pertinent deeds, plats, parcel, and other recorded evidence. This plat was prepared in accordance with and complies with Vermont Statute Title 27, § 1403, (a) through (e).

Joseph R. Flynn, L.S. 714 Dated



O'LEARY-BURKE CIVIL ASSOCIATES, PLC
13 Corporate Drive
Essex, VT, VT
Phone: 878-9990
FAX: 878-9989
E-MAIL: poleary@oburke.com

2 Lot Subdivision Plat for Kenneth Hall
4 Blakey Road - Underhill, Vermont

DATE 08/10/18
JOB# 2018-02
FILE # 2018-02
PLAT #
PLAN SHEET # PL1